



Town of North Stonington
Planning and Zoning Commission

Application for Staff Approval

Received

Application Number: 21-047 Receipt Date: 5/5/21 CL Fee: \$ 210 # 861

ZP	AG	LND DIST	ACC	CU/CUSR	SFR	FR SPLIT	LLA
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Applicant: Name: Kingdom of the Hawk, LLC
Mailing Address: 349 Elm Street, Stonington, CT 06378

Contact Info: Phone: 347-782-1258 E-mail: mconnery@saltwaterfarmvineyard.com

Owner of Record: Name: Same as Above
Mailing Address: _____
Phone: _____ E-mail: _____

Property Location: 113 Pendleton Hill Road, North Stonington, CT

Assessor Parcel Information: Map: 122 Lot: 2660 Deed Vol/Pg: 229/295

Zoning District of Property: EDD **Restrictive Overlay Area: (See Chapter 7)** WSPOA
R40 - R60 - R80 - C - HC - I - ED-RC N/A - VPO - WSPO - SUO

Specific Use as Listed under Zoning District in Regulations: Hospitality

Detail of Use Requested: Site Plans for remodeling of the existing building on-site and will be re-purposed as a tasting room. First floor will contain the tasting room, while the second floor will be a 1-bedroom apartment.
The applicant and property owner above are applying for a Site Plan Approval as specified above and in accordance with the Zoning Regulations of the Town of North Stonington.

5/5/21 Date _____ [Signature] Signature (Property Owner of Record)

For Office Use Only:
Disposition and action taken by the Inland Wetlands Commission or Insignificant and Rights of Use Permits by the Inland Wetlands Officer. (Wetlands Permit is valid for 5 years form date of issuance as long as work has commenced)

Signature of IWC Chairman or WEO: _____ Date: _____

The above stated proposal is hereby certified to () comply () not comply with the Town of North Stonington Zoning Regulations. (Zoning Permit is Valid for 1 year from issuance See Sect. 1201(F))

Signature of PZC Chairman or ZEO: _____ Date: _____

**Project Narrative &
Stormwater Memorandum**

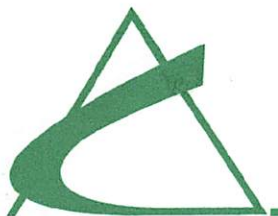
**Kingdom of the Hawk
Tasting Room
113 Pendleton Hill Road
Map 122 Lot 2660
North Stonington, Connecticut**

Prepared for

Kingdom of the Hawk, LLC
349 Elm Street
Stonington, CT 06378

Prepared by

Cherenzia & Associates, Ltd
c/o Sergio F. Cherenzia, PE
99 Mechanic Street
Pawcatuck, CT 06379



**CHERENZIA
& ASSOCIATES, LTD.**

Civil Engineers • Land Surveyors
Land Use Planners • Environmental Engineers
Raymond F. Cherenzia, P.E., L.S., Founder

Date: May 2021
Project No. 219099

received
3/6/21

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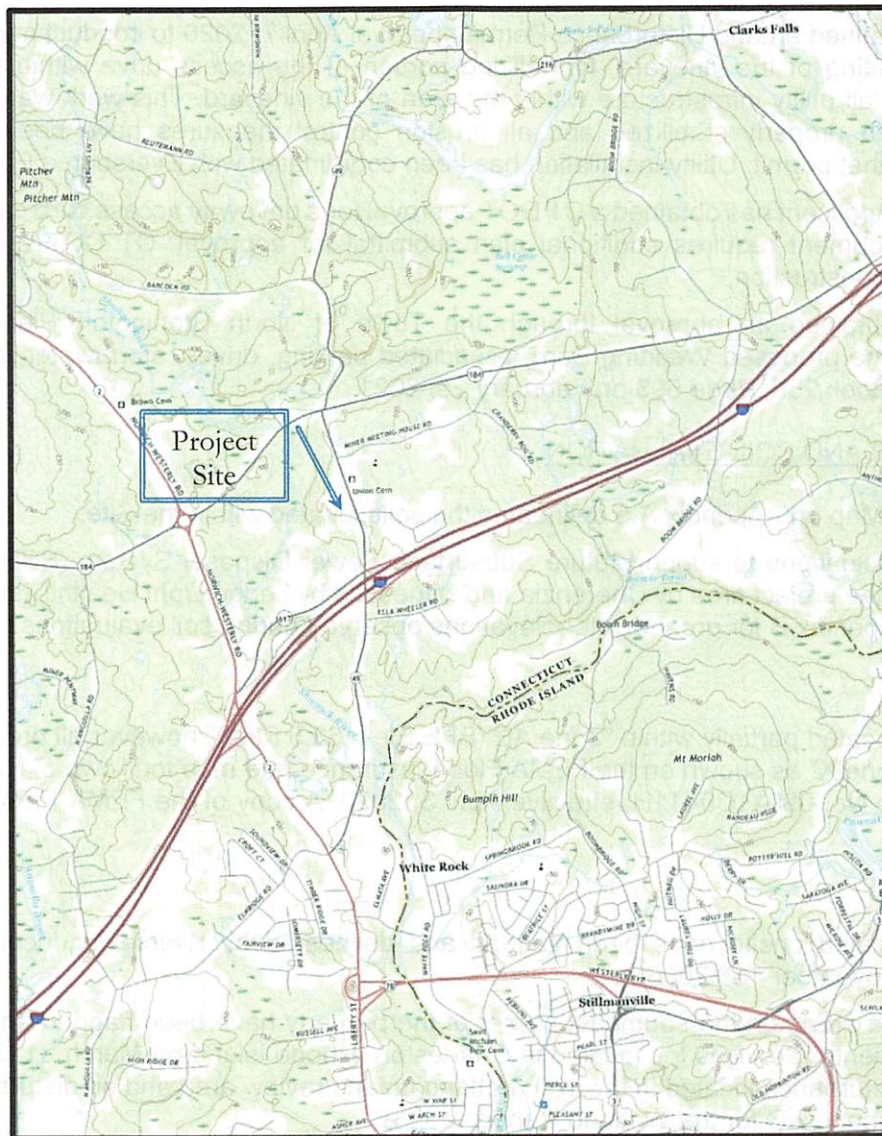
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1. INTRODUCTION

On behalf of Kingdom of the Hawk, LLC (Applicant), Cherenzia & Associates, Ltd. (Cherenzia) has prepared this Project Narrative in support of a proposed Tasting Room, Apartment and Vineyard (“the Site” or “the Project”) located at 113 Pendleton Hill Road in North Stonington, Connecticut (Assessor’s Parcel # 122-2660).

The proposed area shall occupy 3.93± acres of the 55.05± acre Site. The Project includes the re-model of the existing structure to a Tasting Room on the first floor with a one-bedroom apartment on the second floor, adjacent deck, associated grass access drives and parking, event lawn, existing potable well, subsurface sewage disposal system (SSDS), walkways, hardscapes, landscaping, and stormwater BMPs.

An overall Project Site location is shown below. As a requirement the Assessment Parcel Map, Property Card, Tax Map/Plot Plan, and Property Deed are provided as Appendix A.1 – A.4.



2. EXISTING CONDITIONS

The existing site was previously Crider Farm, owned by Jim Crider who passed away July 20, 2019. Under current existing conditions, the Site has an existing unoccupied residential building with dirt trails and four curb-cut accesses along Pendleton Hill Road. A portion of the site is still maintained as farm fields, a portion as wooded, and other portions disturbed by excavation and earthmoving operations. The Property has frontage on and is accessed by Pendleton Hill Road. Stormwater generally flows overland southwest to the Shunock River.

The Property is located within the Economic Development District (EDD). The surrounding properties consist of Quinlan Enterprises, LLC to the south, Kampgrounds of America (KOA) across the street to the east, and single-family residences to the north and east. A partially developed vacant parcel of land is located southeast of the subject property across Pendleton Hill Road, owned by Robert H. Boissevain, Trustee. A cemetery is located on a parcel to the northeast across Pendleton Hill Road. Vacant, previously disturbed parcels zoned EDD exist to the west and southwest, accessed from Route 184 and 617 (respectively).

The Applicant obtained a Land Disturbance Permit approval April 7, 2020 to conduct minor site clearing and grading, planting of the vineyard, formalizing portion of the access drive within the area of the vineyard, and install utility infrastructure within the area of the vineyard. This work was completed and the site has been properly stabilized and all erosion control measures have been adhered to in accordance with that permit. Utility installation has been coordinated with Eversource Energy.

Additionally, the Applicant has obtained a CT DOT approval for a driveway access curb cut, with condition that future development requires additional plan submittal for approval. CT DOT approval shall be obtained prior to construction.

The Applicant obtained an approval through the Town of North Stonington Planning & Zoning Commission for the proposed Wedding Barn, associated parking, drives, stormwater, and utilities and was recorded in Book 236, Page 593 on February 25, 2021.

GROUNDWATER AND SOIL EVALUATION

The NRCS Soils Map on Appendix A.5 delineates the soils located within the Site.

Seven (7) soil evaluations to support future Subsurface Sewer Disposal System (SSDS) design were performed within the project area by Cherenzia and witnessed by Ledge Light Health District on February 11, 2021. See Appendix B for groundwater elevations observed during soil evaluations.

FEMA

The Property is located partially within "Zone AE (BFE Elev. 63.5 Feet)" however all proposed activity is located within "Zone X" as shown on the FEMA Flood Insurance rate map for Town of North Stonington, Connecticut, Map No. 09011C0411H, effective April 3, 2020. A copy of the FEMA FIRM is included as Appendix A.6.

WETLANDS

The wetlands located onsite have been flagged and delineated by Kleinfelder located in Windsor, Connecticut on November 18th 2006.

Additional wetland areas on the southeast corner of the property have been flagged and delineated by Avizinis Environmental Services Inc located in Charleston, Rhode Island on March 31, 2021. There will be very limited disturbance located in the 100' wetland upland review area and no disturbance within the wetlands. See Appendix C for the Wetland Report.

3. PROPOSED CONDITIONS

The proposed development consists of a remodel of a 2-story, 2,854± square foot, Tasting Room on the first floor and a one-bedroom apartment on the second floor with adjacent deck, associated grass access drives and parking, event lawn, existing utilities, existing potable well, subsurface sewage disposal system (SSDS), walkways, hardscape, landscaping, and stormwater BMPs. The proposed development shall be permitted under the 'Hospitality' use which falls under the 602.3 Commercial Use.

The proposed development will utilize the approved CT DOT curb cut on Pendleton Road for patron access. There shall be an additional curb cut for overflow patron access and deliveries off of Pendleton Hill Road and shall consist of a two-way entrance/exit.

The parking areas shall consist of two (2) ADA parking spaces in closest proximity to the building as well as seventy-nine (79) standard parking spaces. There are two general parking areas; north of the building that will be generally used by patrons and immediately southwest of the building for overflow patron parking, staff, and deliveries.

A 5-foot-wide pervious paver sidewalk shall be located off the ADA spaces to access the building. Landscaping shall be low maintenance with areas of mow mix and conservation mix grassed areas, along with landscape beds containing shrubs.

The SSDS will be submitted to Ledge Light Health District (LLHD) for review and permit approval for a 55-person Tasting Room and one-bedroom apartment. All applicable minimum setbacks shall be observed to applicable site features, including stormwater facilities.

This traffic impact analysis consists of trip generation calculations which provides estimates of proposed average number of trips by vehicles entering and exiting the site. The trip generation calculation is based on "Trip Generation (10th Editions)," and information report published by the Institute of Transportation Engineers (ITE).

The trip generation is based on the GFA (Gross Floor Area) of the proposed tasting room and one-bedroom apartment.

The closest defined use within the ITE that is closest to the proposed use is a combined category as "Winery", land use 970. Which is defined as:

"Winery", land use 970

"A winery is a property used primarily for the production of wine. Wineries typically include tasting room facilities and may offer special events such as weddings or parties. Wineries often offer complimentary tours and wine tasting. Visitors also may purchase wine or wine-related products."

The following table identifies the estimated trips based on the average rate for weekday and PM Peak for the and the proposed office. The proposed tasting room is 2,854 s.f. or 3 KSF. KSF being units of 1,000 square feet. The one-bedroom apartment is classified as '2-persons'.

ITE Vehicle Trip Generation

Land Use	Trips	
	Daily	PM Peak
Winery	87	10
Apartment	7	1
Total	94	11

Appendices are referenced in the table of contents and provide additional relevant background information and mapping.

HYDROLOGIC ANALYSIS

Based on evaluation of existing conditions and topography, Cherenzia concluded that one sub-watershed is present within the project area that discharges to one design point. Design Point 1 is the southern side of the proposed development which drains to the existing wetlands on the property and then ultimately to the Shunock River.

Under proposed conditions, the project draining to Design Point 1 is as described below:

- Sub-watershed area PR-1 consists of areas draining to the proposed infiltration basin, P-1. This area consists of the building, vineyard, and grass drive/parking. Grassed areas between the sidewalks and basin will act as a grass filter strip providing pretreatment for the sidewalk. The infiltration basin has been sized to provide stormwater treatment and mitigate peak flow rates. Stormwater discharged from the system will be directed to Design Point 1.

One stormwater BMP are included in the proposed project area, an infiltration basin to manage stormwater quality and quantity.

An infiltration basin, shall be constructed on the southern end of the project. The basin is sized so the volume below the first outlet is greater than the water quality volume; therefore, sufficient stormwater treatment is provided.

The grass driveways are designed meeting the CT Water Quality Manual requirements; therefore, they are not considered impervious surfaces for the water quality calculations. According to the Water Quality Manual, grass drives and parking are for low traffic areas. The manual defines low traffic as generally 500 or fewer average daily trips. The proposed property will have less than 500 average daily trips.

Table 1: Proposed Stormwater Treatment

		PR-1
	Pretreatment	Proposed Area to Basin Not required for roof, grass filter strip for sidewalk
	Treatment	Infiltration Basin
	Total Area, sq.ft.	171,116
	Percent Impervious, I	3.3
	Runoff Coefficient, R	0.079
WQV	Imp. Area, sq.ft. (sidewalk & roof)	5,582
	Water Quality Volume, cu.ft. (CTSQM 7.4.1)	1,132
Infiltration Basin	Total Storage Volume Provided Below First Outlet, cu.ft.	9,464

This project has been designed in accordance with the latest edition of the *Connecticut DEEP Stormwater Quality Manual* with no adverse impact to the surrounding area. The proposed stormwater design addresses water quality, by treating the WQv through an Infiltration Basin, by reducing or matching peak discharge rates from existing to proposed conditions.

SOIL EROSION SEDIMENT CONTROL PLAN

All soil erosion sediment control devices shall be installed per the “2002 Connecticut Guidelines for Soil Erosion and Sediment Control”. Soil erosion sediment control devices include straw wattles, concrete washout area, and a construction entrance.

Straw Wattles/Silt Fence will be installed throughout construction on the downslope side of the Limit of Disturbance and around basins. A **Concrete Washout Area** shall be installed to allow an area for concrete trucks to washout during construction. A **Construction Entrance** shall be installed at the entrance of the project.

OPERATION & MAINTENANCE

The stormwater system must be inspected regularly and maintained as described herein to ensure that it continues to perform as designed. Inspections shall be performed by someone that has knowledge or experience with stormwater systems. When the routine inspection reveals a question of integrity an inspection shall be performed by a registered professional engineer. The inspection process shall document observations made in the field and shall cover structural conditions, evidence of vandalism, condition of vegetation, occurrence of obstructions, unsafe conditions, and build-up of trash, sediments, and pollutants. Routine maintenance activities shall be performed on a regular basis and generally do not depend on findings from inspections. These tasks shall include such things as vegetation maintenance (such as mowing), and trash/debris removal. These tasks shall be performed on a fixed time interval, depending on the season and type of actions required. Corrective tasks such as sediment removal shall be performed on an as-needed basis, based on inspection results or in response to complaints. These tasks may require specialized personnel to perform the required actions appropriately.

INFILTRATION BASIN

Infiltration facilities shall be inspected annually to ensure than design infiltration rates are being met. If sediment or organic debris build-up has limited the infiltration capabilities (infiltration basins) to below the design rate, the top six inches shall be removed and the surface roto-tilled to a depth of 12 inches. The basin bottom shall be restored according to original design specifications. Any oil or grease found at the time of inspection shall be cleaned with oil absorption pads and disposed of in an approved location.

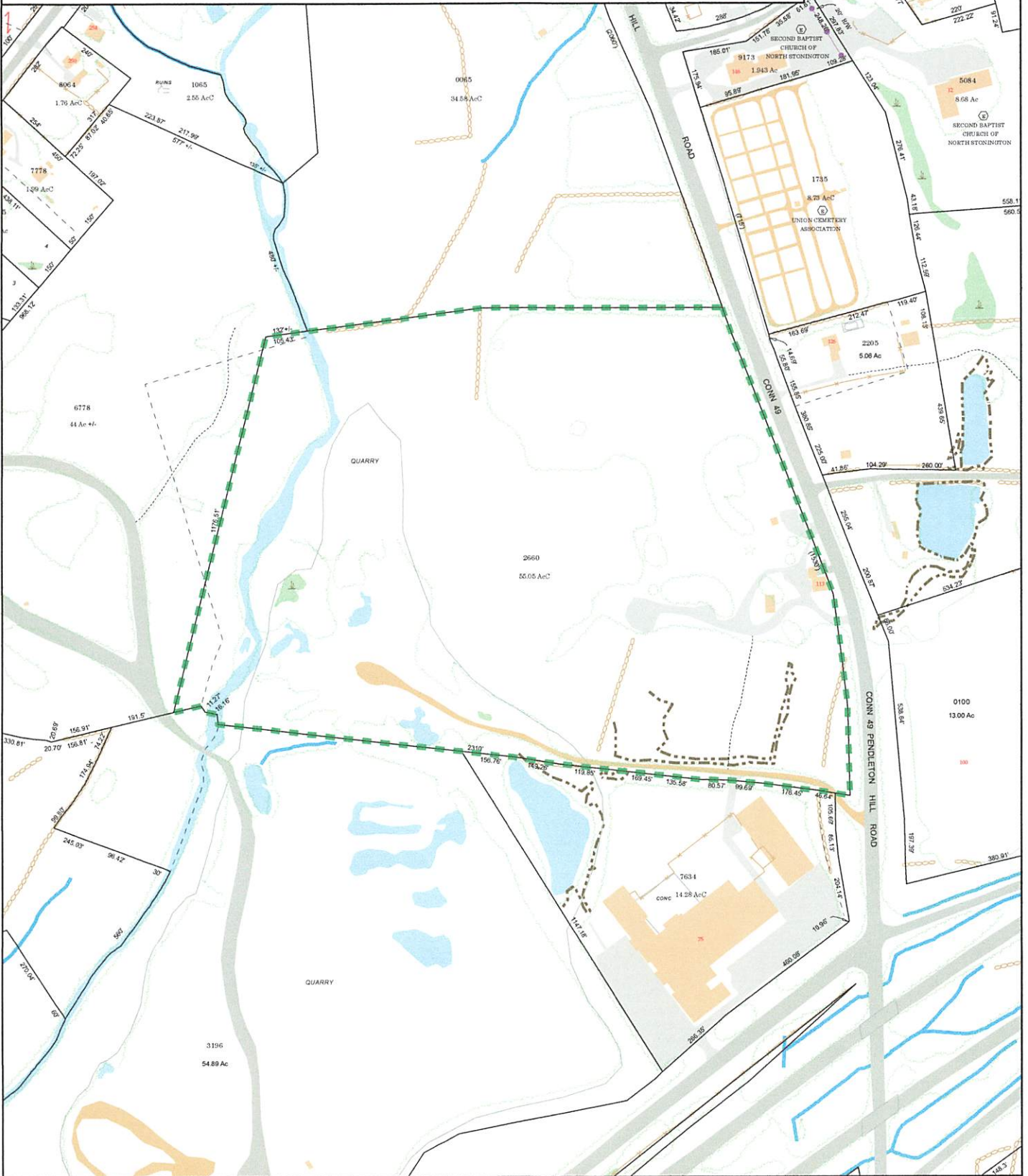
Inspect facility for signs of wetness or damage to the structure and note any eroded areas. If dead or dying grass on the bottom is observed, check to ensure that water percolates 2-3 days following storms. Mow or remove litter and debris. Stabilize eroded banks and repair undercut and eroded areas at inflow and outflow structures.

APPENDIX A:
Background Information

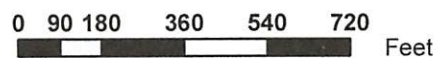
Town of North Stonington, Connecticut - Assessment Parcel Map

Parcel: 122-2660

Address: 113 PENDLETON HL



Approximate Scale: 1:4,800



Map Produced
November 2019

Disclaimer: This map is for informational purposes only.
All information is subject to verification by any user.
The Town of North Stonington and its mapping contractors assume
no legal responsibility for the information contained herein.

APPENDIX A.2:

Property Card



Town of North Stonington, CT

Property Listing Report

Map Block Lot

122-2660

Account

C3400000

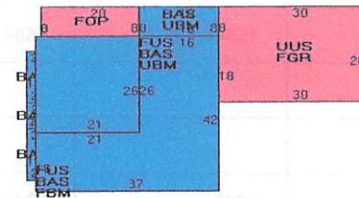
Property Information

Property Location	113 PENDLETON HL
Owner	KINGDOM OF THE HAWK LLC
Co-Owner	
Mailing Address	349 ELM STREET STONINGTON CT 06378
Land Use	0101 SINGLE FAM
Land Class	R
Zoning Code	EDD
Census Tract	7071
Sub Lot	
Neighborhood	0500
Acreage	55.05
Utilities	Well,Septic
Lot Setting/Desc	Industrial Level
Survey Map	
Additional Info	

Photo



Sketch



Primary Construction Details

Year Built	1924
Stories	2
Building Style	Colonial
Building Use	Residential
Building Condition	Below Average
Floors	Pine/Soft Wood
Total Rooms	4 Rooms

Bedrooms	3 Bedrooms
Full Bathrooms	2
Half Bathrooms	0
Bath Style	Average
Kitchen Style	Average
Roof Style	Gable
Roof Cover	Asphalt Shingl

Exterior Walls	Wood Shingle
Interior Walls	Drywall/Sheet
Heating Type	Hot Water
Heating Fuel	Oil
AC Type	None
Gross Bldg Area	6708
Total Living Area	3306



Town of North Stonington, CT

Property Listing Report

Map Block Lot 122-2660

Account C3400000

Valuation Summary (Assessed value = 70% of Appraised Value)

Item	Appraised	Assessed
Buildings	148500	103950
Extras	0	0
Outbuildings	2100	1470
Land	417000	291900
Total	567600	397320

Outbuilding and Extra Items

Type	Description
WOOD DECK	560.00 S.F.

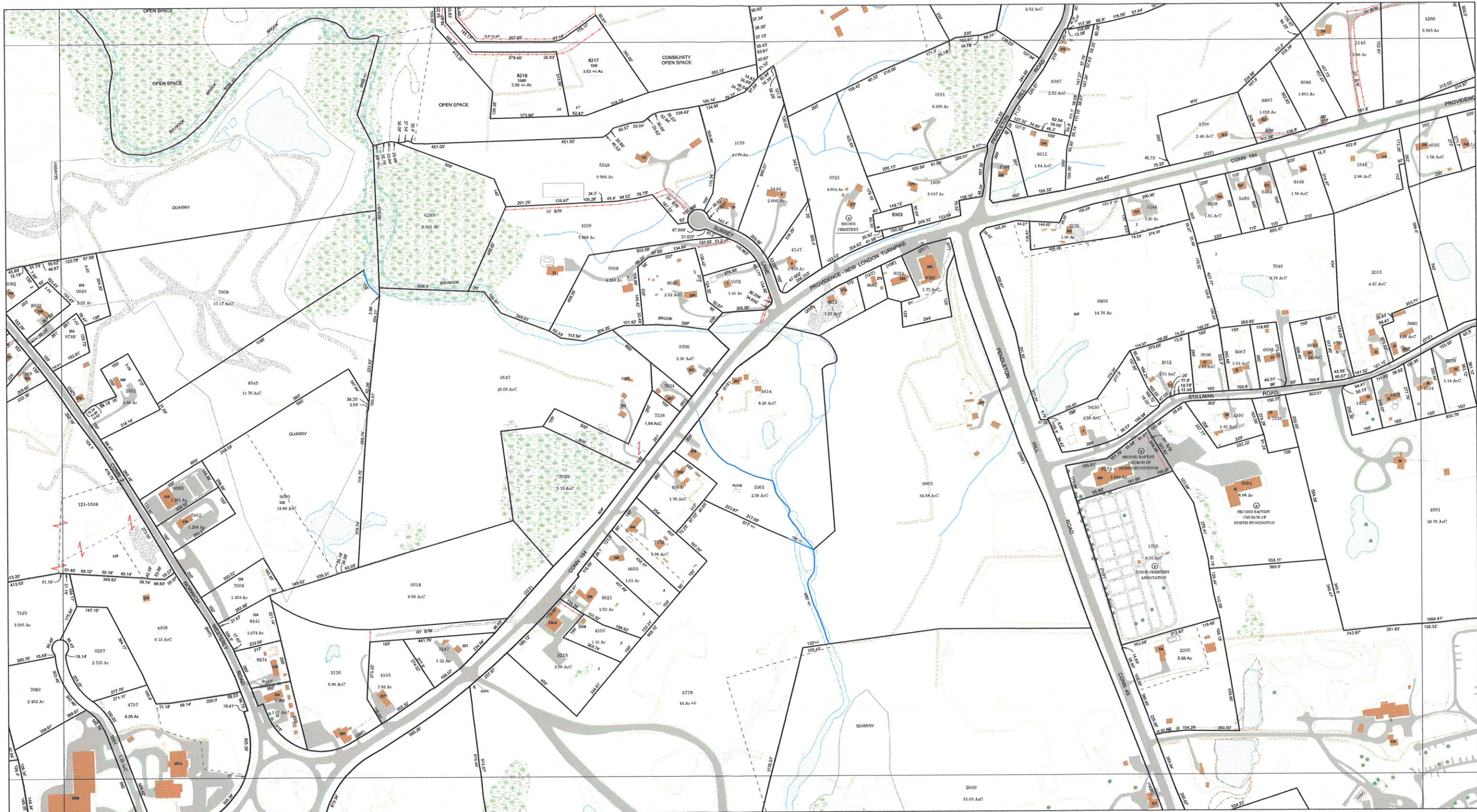
Sub Areas

Subarea Type	Gross Area (sq ft)	Living Area (sq ft)
Basement, Unfinished	1136	0
Basement, Finished	546	0
Porch, Open, Finished	160	0
Upper Story, Unfinished	780	0
First Floor	1752	1752
Garage, Attached	780	0
Upper Story, Finished	1554	1554
Total Area	6708	3306

Sales History

Owner of Record	Book/ Page	Sale Date	Sale Price
KINGDOM OF THE HAWK LLC	229/ 295	2/22/2019	580000
CRIDER JAMES P	225/ 34	10/20/2017	
CRIDER JAMES P & GLORIA M	43/ 146	3/5/1973	0

APPENDIX A.1:
Assessment Parcel Map



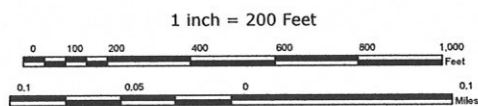
Map Number: **117**

THIS MAP IS PREPARED FOR THE INVENTORY OF REAL PROPERTY FOUND WITHIN THESE JURISDICTIONS AND IS COMPILED FROM RECORDED DEEDS, PLATS, AND OTHER PUBLIC RECORDS AND DATA. USERS OF THIS MAP ARE HEREBY NOTIFIED THAT THE AFORESAID PUBLIC PRIMARY INFORMATION CONTAINED ON THIS MAP, THE TOWNS AND THE MAPPING COMPANIES ASSUME NO LEGAL RESPONSIBILITIES FOR THE INFORMATION CONTAINED ON THIS MAP.

Town of North Stonington Connecticut
Planimetric Data and Property Maps 2019

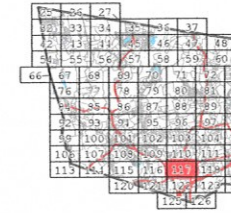


Photography Dates:
 March 24, 1996 (120 Series)
 April 29, 1997 (449 Series)
 December 16, 1997
 (449 Series, 5-1, 5-3, 5-5)
 Completion Date: April 28, 2000
 Planimetric Update based on 2010 Photo
 Revised Date: October 1, 2019

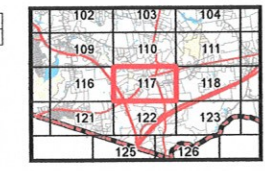


- Property Line
- Property Line Along Water
- Parcel in Dispute
- Town Line
- State Line
- ROW / Easement
- Surveyed Wetland
- Parcel Hook and Sub Lot
- Building / Street No.
- Exempt Property
- Record Dimension
- Surveyed Dimension
- Surveyed Acreage
- Computed Acreage
- Wall / Fence

- Deciduous Tree
- Evergreen Tree
- Vegetation
- Water
- Swamps
- Roads, Driveways, Trails, Flat Areas and Structures



Map Number: **117**

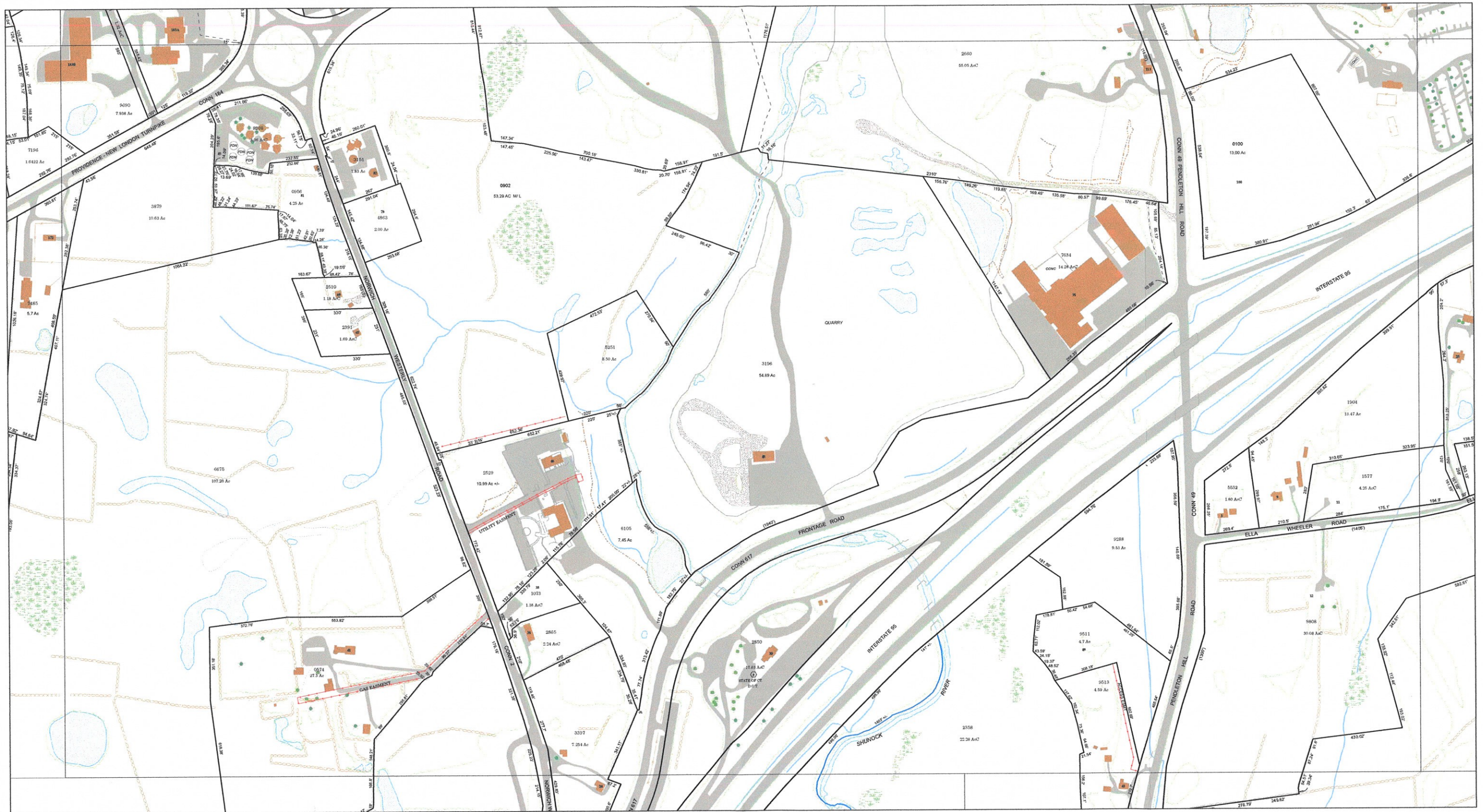


Map Produced: November 2019



HORIZONTAL DATUM BASED ON THE CONNECTICUT STATE PLANE COORDINATE SYSTEM, NAD 83 (1986)

APPENDIX A.3:
Tax Map/Plot Plan



Map Number: 122

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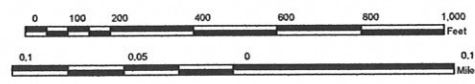


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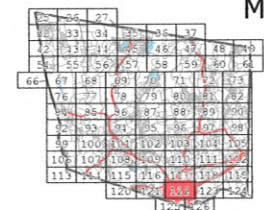
Town of North Stonington Connecticut
Planimetric Data and Property Maps 2019

1 inch = 200 Feet

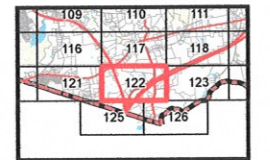


- Property Line
- Property Line Along Water
- Parcel in Dispute
- Town Line
- State Line
- ROW / Easement
- Surveyed Wetland
- Parcel Hook and Sub Lot
- Building / Street No.
- Exempt Property
- Record Dimension
- Surveyed Acreage
- 2 Ac
- 2 AcC
- Computed Acreage
- Wall / Fence

- Deciduous Tree
- Evergreen Tree
- Vegetation
- Water
- Swamps
- Roads, Driveways, Trails, Flat Areas and Structures



Map Number: 122



Map Produced: November 2019

APPENDIX A.4:

Property Deed

Return to:
Kingdom of the Hawk LLC
349 Elm Street
Stonington, CT 06378

STATUTORY FORM WARRANTY DEED

KNOW YE, THAT I, **JAMES P. CRIDER A/K/A JAMES P. CRIDER, SR.**, acting herein by James P. Crider, Jr. duly authorized by Power of Attorney dated July 18, 2017 and recorded in the North Stonington Land Records prior to the recording of this instrument, of 182 Fenner Hill Road, Hope Valley, Rhode Island 02832, for consideration of FIVE HUNDRED EIGHTY THOUSAND and 00/100 (\$580,000.00) Dollars and other valuable consideration paid, grant to **KINGDOM OF THE HAWK LLC**, a Connecticut Limited Liability Company, organized and existing under the laws of the State of Connecticut, with a mailing address of 349 Elm Street, Stonington, Connecticut 06378, with **WARRANTY COVENANTS for property known as 113 PENDLETON ROAD, NORTH STONINGTON, CONNECTICUT:**

SEE SCHEDULE "A" ATTACHED HERETO AND MADE A PART HEREOF.

As partial consideration for this conveyance, the herein Grantee agrees to assume and pay all real estate taxes and other municipal charges hereafter coming due on the within described premises.

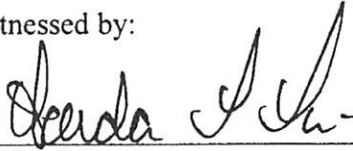
SAID PREMISES ARE SUBJECT TO THE FOLLOWING ENCUMBRANCES:
Any and all provisions of any ordinance, municipal regulation, public or private law. Any assessments or pending assessments for which a lien or liens have not as yet been filed, if any. Any provisions, if applicable, or any inland/wetlands or coastal wetland statutes, ordinances, rules and regulations.

CONVEYANCE TAX RECEIVED
STATE \$ \$4,350.00
LOCAL \$ \$1,450.00
Antoinette Pancaro
NORTH STONINGTON Town Clerk

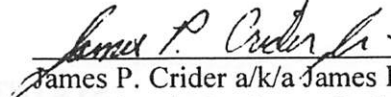
THE LAW FIRM OF
BORNER, SMITH, ALEMAN,
HERZOG & CERRONE, LLC
155 PROVIDENCE STREET, P.O. Box 166, PUTNAM, CONNECTICUT 06260
P: 860.928.2429 • F: 860.928.7539 • www.nectlaw.com

Signed this 21st day of February, 2019.

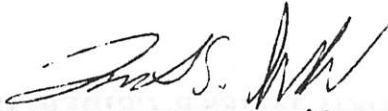
Witnessed by:



Sandra L. Lemire



James P. Crider a/k/a James P. Crider, Sr.
acting herein by James P. Crider, Jr., his
Attorney-In-Fact



(Witness) Josh Hacerik

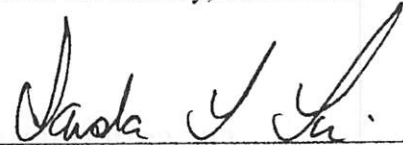
STATE OF CONNECTICUT)

) SS. Putnam

February 21, 2019

COUNTY OF WINDHAM)

Personally, appeared James P. Crider, Jr., Attorney-In-Fact for James P. Crider a/k/a James P. Crider, Sr., Signer of the foregoing Instrument, and acknowledged the same to be his free act and deed and the free act and deed under said Power of Attorney, before me.



Sandra L. Lemire, Notary Public
My Commission Expires: 07/31/2023

THE LAW FIRM OF
BORNER, SMITH, ALEMAN,
HERZOG & CERRONE, LLC
155 PROVIDENCE STREET, P.O. Box 166, PUTNAM, CONNECTICUT 06260
P: 860.928.2429 • F: 860.928.7539 • www.nectlaw.com

SCHEDULE "A"

All that certain tract or parcel of land, together with all the buildings and improvements thereon, situated in the Town of North Stonington, County of New London and State of Connecticut, being that part of the farm known as the "Reuben W. York Farm" which lies west of the public highway leading from Westerly, Rhode Island, to Pendleton Hill, Connecticut, bounded northerly by land formerly of Charles Vincent, easterly by the public highway, and southerly and westerly by land now or formerly of George E. Champlin, formerly owned by Joseph P. Crider, bounded and described more particularly as follows:

Beginning on the westerly side of the public highway at land now or formerly of John Wilkinson; running thence by said land westerly 2310 feet, more or less, to the strip of land formerly owned by the Norwich and Westerly Railway Company for a right of way; thence crossing said strip of land in a Westerly direction 105 feet, more or less, across Shunoc Brook to a stone wall; thence in a northeasterly direction by land of John Wilkinson 210 feet, more or less, to a wire fence; thence northerly along a wire fence, and by land of John Wilkinson 1260 feet, more or less, to an intersecting wire fence; thence easterly along a wire fence and by land of John Wilkinson 150 feet, more or less, to Shunoc Brook; thence crossing Shunoc Brook in an easterly direction along a stone wall and by land of Irving Main 200 feet, more or less; thence easterly along a wire fence 300 feet, more or less, by said Main land to a stone wall; thence easterly by said stone wall 1660 feet, more or less still by said Main land to the public highway; and thence southerly by said public highway 1605 feet, more or less, to the point or place of beginning; containing 60 acres, more or less.

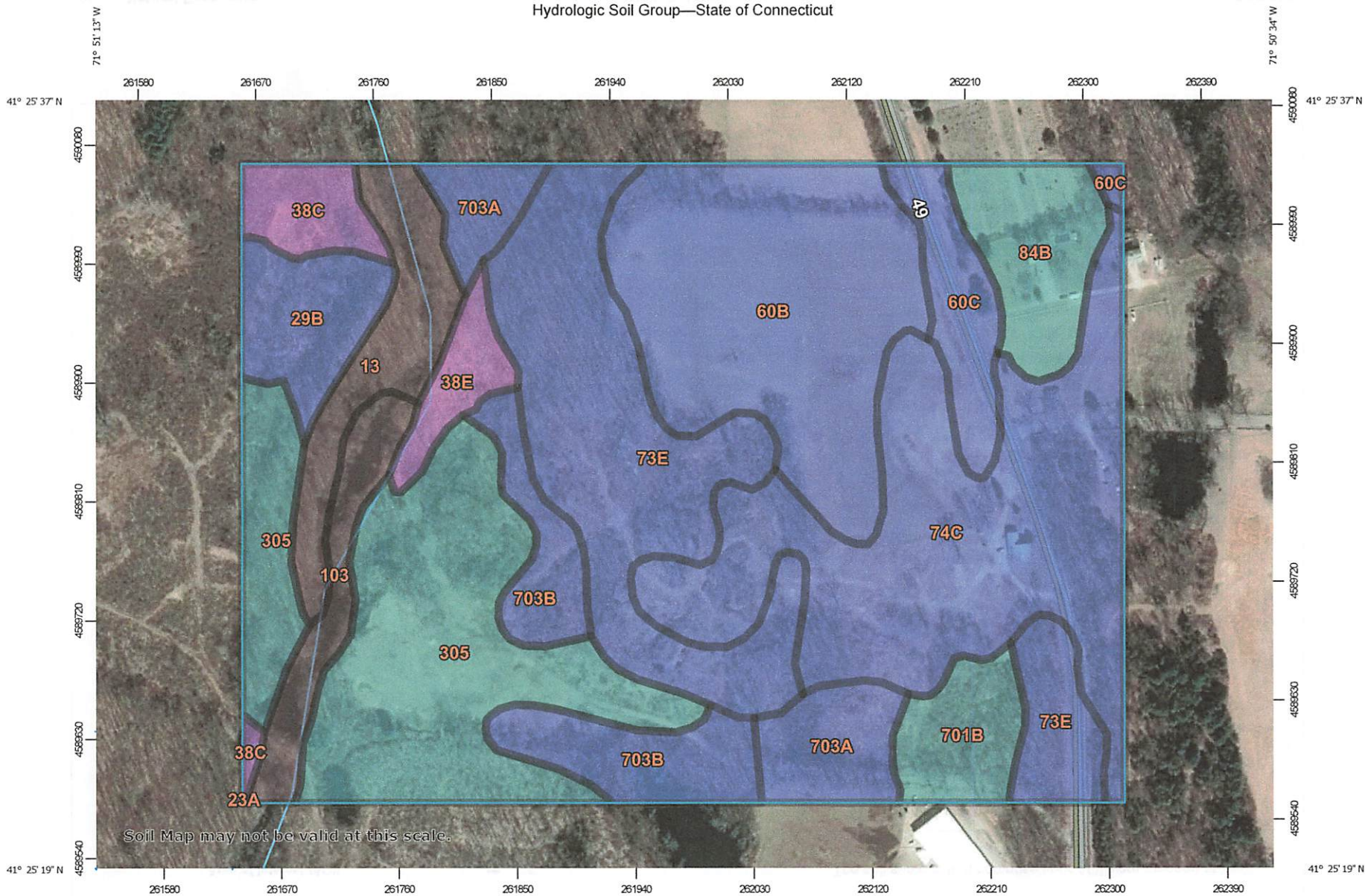
There is excepted from this conveyance a parcel of land containing 0.96 acres conveyed to the State of Connecticut September 20, 1962 by deed recorded in Volume 31, page 154 of the North Stonington Land Records.

Being the same premises conveyed by Warranty Deed from Ruth M. Crider to James P. Crider and Gloria M. Crider dated and recorded March 5, 1973 in Volume 43, Page 146 of the North Stonington Land Records.

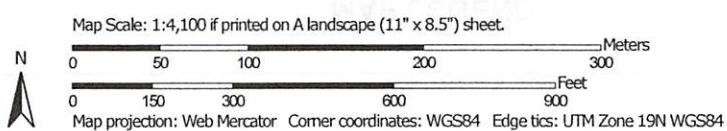
THE LAW FIRM OF
BORNER, SMITH, ALEMAN,
HERZOG & CERRONE, LLC
155 PROVIDENCE STREET, P.O. BOX 166, PUTNAM, CONNECTICUT 06260
P: 860.928.2429 • F: 860.928.7539 • www.nectlaw.com

APPENDIX A.5:
NRCS Soils Map

































Hydrologic Soil Group—State of Connecticut



Soil Map may not be valid at this scale.



MAP LEGEND

- Area of Interest (AOI)**
 -  Area of Interest (AOI)
- Soils**
 - Soil Rating Polygons**
 -  A
 -  A/D
 -  B
 -  B/D
 -  C
 -  C/D
 -  D
 -  Not rated or not available
 - Soil Rating Lines**
 -  A
 -  A/D
 -  B
 -  B/D
 -  C
 -  C/D
 -  D
 -  Not rated or not available
 - Soil Rating Points**
 -  A
 -  A/D
 -  B
 -  B/D
- Soils**
 -  C
 -  C/D
 -  D
 -  Not rated or not available
- Water Features**
 -  Streams and Canals
- Transportation**
 -  Rails
 -  Interstate Highways
 -  US Routes
 -  Major Roads
 -  Local Roads
- Background**
 -  Aerial Photography

MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:12,000.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service
 Web Soil Survey URL:
 Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: State of Connecticut
 Survey Area Data: Version 19, Sep 13, 2019

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Mar 20, 2019—Mar 27, 2019

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

Hydrologic Soil Group

Map unit symbol	Map unit name	Rating	Acres in AOI	Percent of AOI
13	Walpole sandy loam, 0 to 3 percent slopes	B/D	3.6	4.5%
23A	Sudbury sandy loam, 0 to 5 percent slopes	B	0.0	0.0%
29B	Agawam fine sandy loam, 3 to 8 percent slopes	B	2.7	3.3%
38C	Hinckley loamy sand, 3 to 15 percent slopes	A	1.8	2.2%
38E	Hinckley loamy sand, 15 to 45 percent slopes	A	1.4	1.7%
60B	Canton and Charlton fine sandy loams, 3 to 8 percent slopes	B	11.8	14.6%
60C	Canton and Charlton fine sandy loams, 8 to 15 percent slopes	B	2.6	3.2%
73E	Charlton-Chatfield complex, 15 to 45 percent slopes, very rocky	B	12.6	15.6%
74C	Narragansett-Hollis complex, 3 to 15 percent slopes, very rocky	B	15.1	18.7%
84B	Paxton and Montauk fine sandy loams, 3 to 8 percent slopes	C	3.3	4.1%
103	Rippowam fine sandy loam	B/D	2.4	3.0%
305	Udorthents-Pits complex, gravelly	C	13.1	16.3%
701B	Ninigret fine sandy loam, 3 to 8 percent slopes	C	2.3	2.8%
703A	Haven silt loam, 0 to 3 percent slopes	B	3.4	4.3%
703B	Haven silt loam, 3 to 8 percent slopes	B	4.5	5.6%
Totals for Area of Interest			80.6	100.0%

Description

Hydrologic soil groups are based on estimates of runoff potential. Soils are assigned to one of four groups according to the rate of water infiltration when the soils are not protected by vegetation, are thoroughly wet, and receive precipitation from long-duration storms.

The soils in the United States are assigned to four groups (A, B, C, and D) and three dual classes (A/D, B/D, and C/D). The groups are defined as follows:

Group A. Soils having a high infiltration rate (low runoff potential) when thoroughly wet. These consist mainly of deep, well drained to excessively drained sands or gravelly sands. These soils have a high rate of water transmission.

Group B. Soils having a moderate infiltration rate when thoroughly wet. These consist chiefly of moderately deep or deep, moderately well drained or well drained soils that have moderately fine texture to moderately coarse texture. These soils have a moderate rate of water transmission.

Group C. Soils having a slow infiltration rate when thoroughly wet. These consist chiefly of soils having a layer that impedes the downward movement of water or soils of moderately fine texture or fine texture. These soils have a slow rate of water transmission.

Group D. Soils having a very slow infiltration rate (high runoff potential) when thoroughly wet. These consist chiefly of clays that have a high shrink-swell potential, soils that have a high water table, soils that have a claypan or clay layer at or near the surface, and soils that are shallow over nearly impervious material. These soils have a very slow rate of water transmission.

If a soil is assigned to a dual hydrologic group (A/D, B/D, or C/D), the first letter is for drained areas and the second is for undrained areas. Only the soils that in their natural condition are in group D are assigned to dual classes.

Rating Options

Aggregation Method: Dominant Condition

Component Percent Cutoff: None Specified

Tie-break Rule: Higher

APPENDIX A.6:
Flood Insurance Rate Map (FIRM)

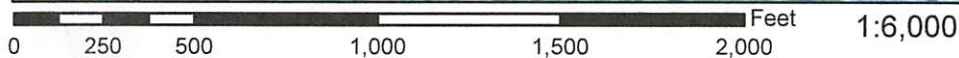
National Flood Hazard Layer FIRMette



71°51'14"W 41°25'42"N



USGS The National Map: Orthoimagery. Data refreshed April 2020



71°50'36"W 41°25'15"N

Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

SPECIAL FLOOD HAZARD AREAS		Without Base Flood Elevation (BFE) Zone A, V, A99
		With BFE or Depth Zone AE, AO, AH, VE, AR
		Regulatory Floodway
OTHER AREAS OF FLOOD HAZARD		0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile Zone X
		Future Conditions 1% Annual Chance Flood Hazard Zone X
		Area with Reduced Flood Risk due to Levee. See Notes. Zone X
		Area with Flood Risk due to Levee Zone D
OTHER AREAS		NO SCREEN Area of Minimal Flood Hazard Zone X
		Effective LOMRs
GENERAL STRUCTURES		Area of Undetermined Flood Hazard Zone D
		Channel, Culvert, or Storm Sewer
		Levee, Dike, or Floodwall
OTHER FEATURES		20.2 Cross Sections with 1% Annual Chance Water Surface Elevation
		17.5 Coastal Transect
		Base Flood Elevation Line (BFE)
		Limit of Study
		Jurisdiction Boundary
		Coastal Transect Baseline
		Profile Baseline
		Hydrographic Feature
MAP PANELS		Digital Data Available
		No Digital Data Available
		Unmapped
		The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.



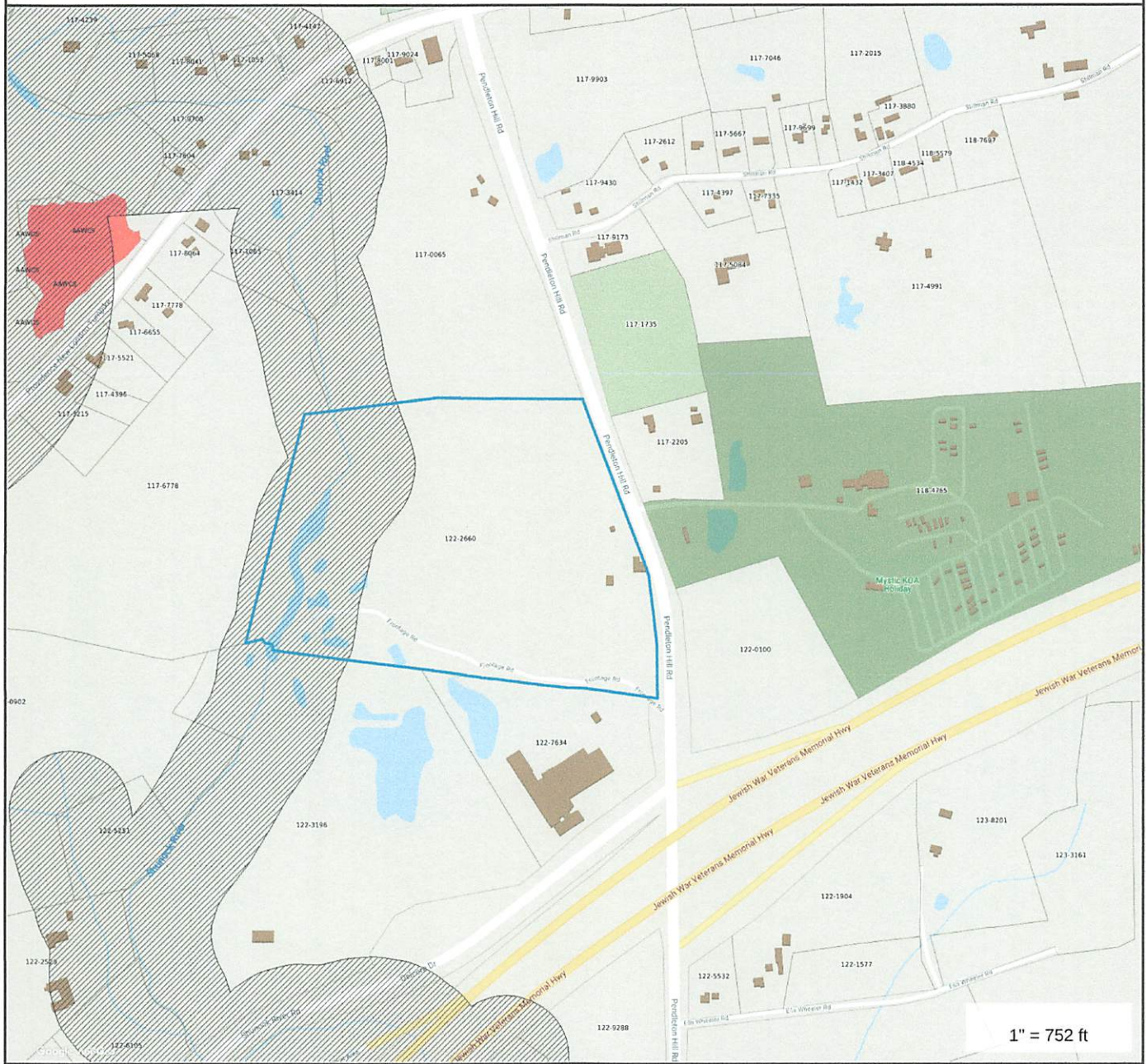
This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on 10/6/2020 at 7:16 AM and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.

APPENDIX A.7:
Natural Diversity Database Map

Natural Diversity Map



Property Information

Property ID 102-122-2660
Location 113 PENDLETON HL
Owner KINGDOM OF THE HAWK LLC



MAP FOR REFERENCE ONLY
 NOT A LEGAL DOCUMENT

SCCOG makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

Geometry updated 05/31/2017
 Data updated 10/1/2013

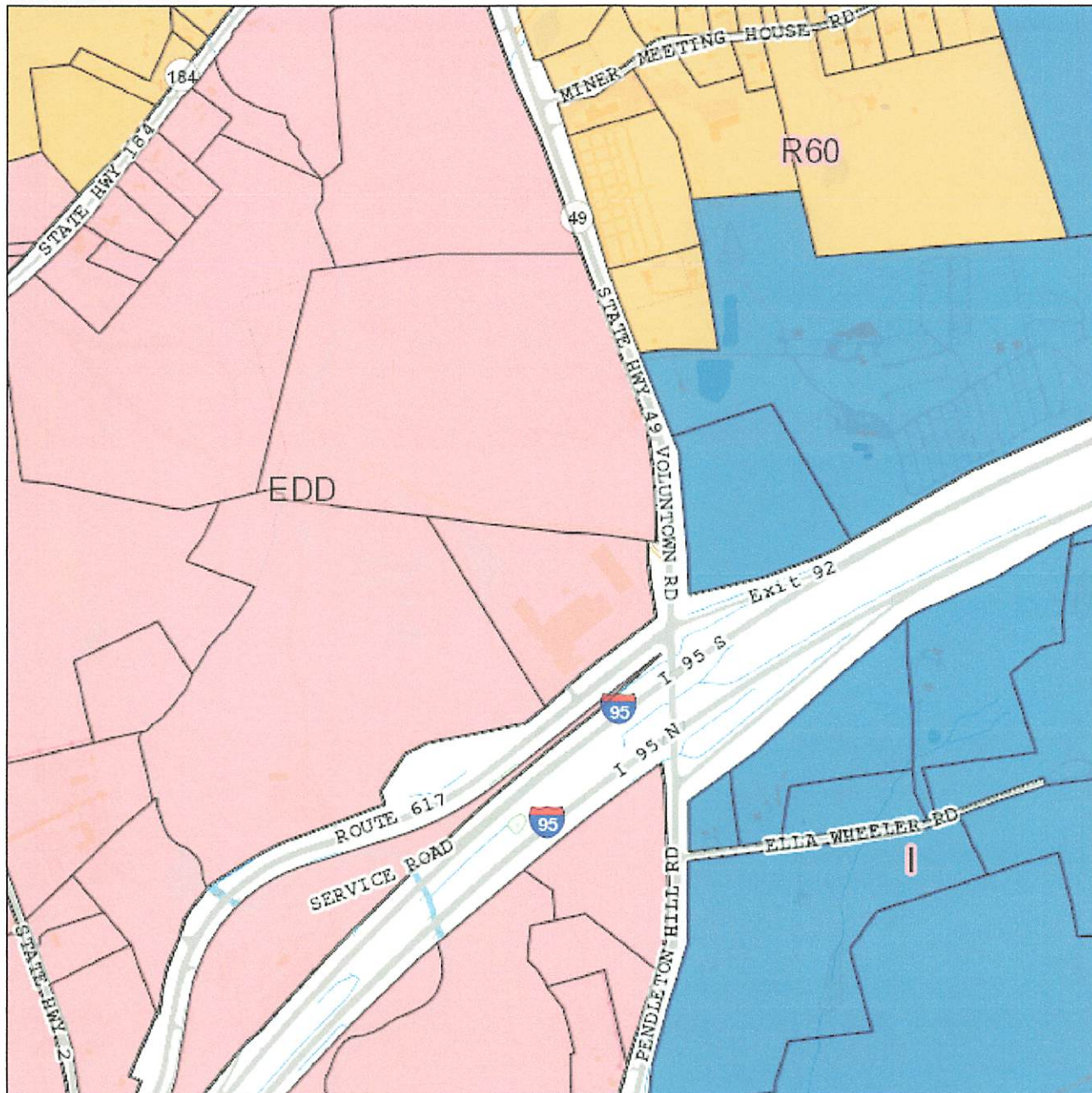
APPENDIX A.8:

Zoning Map

Town of North Stonington Geographic Information System (GIS)



Date Printed: 9/24/2020



MAP DISCLAIMER - NOTICE OF LIABILITY

This map is for assessment purposes only. It is not for legal description or conveyances. All information is subject to verification by any user. The Town of North Stonington and its mapping contractors assume no legal responsibility for the information contained herein.

Approximate Scale: 1 inch = 800 feet



APPENDIX B:

Test Pit Log



SITE INVESTIGATION FOR A SUBSURFACE SEWAGE DISPOSAL SYSTEM

Property Address: 113 Pendleton Hill Rd Town: North Stonington

DEEP TEST PIT DATA/SOIL DESCRIPTIONS

DATE: 2/11/2021 (Record all Test Pits)

TEST PIT: 1	TEST PIT: 2	TEST PIT: 3	TEST PIT: 4
0-108 Fill Unsuitable	0-90 Fill Unsuitable	0-80 Fill Unsuitable	0-84 Unsuitable
Mottles:	Mottles:	Mottles:	Mottles:
GW:	GW:	GW:	GW: 74
Ledge:	Ledge:	Ledge:	Ledge:
Roots:	Roots: to	Roots to:	Roots to:
Restrictive:	Restrictive:	Restrictive:	Restrictive:
TEST PIT: 5	TEST PIT: 6	TEST PIT: 7	
0-84 Fill Unsuitable	0-24 Top Soil 24-54 Light Br, med sand 54-87 Gray Tan, Med coarse with cobbles The street side of the test hole witnessed faint line of fill	near a catch basin (needs to be relocated). 0-54 Fill 54-86 GrayTan, Med coarse with cobbles	
Mottles:	Mottles:	Mottles:	
GW:	GW:	GW:	
Ledge:	Ledge:	Ledge:	
Roots to:	Roots to:	Roots to:	
Restrictive:	Restrictive: 87	Restrictive: 86	

GROUNDWATER TABLE (Near max., below max., etc.): _____

SOIL MOISTURE (High, medium, low, etc.): _____

PERCOLATION TEST DATA

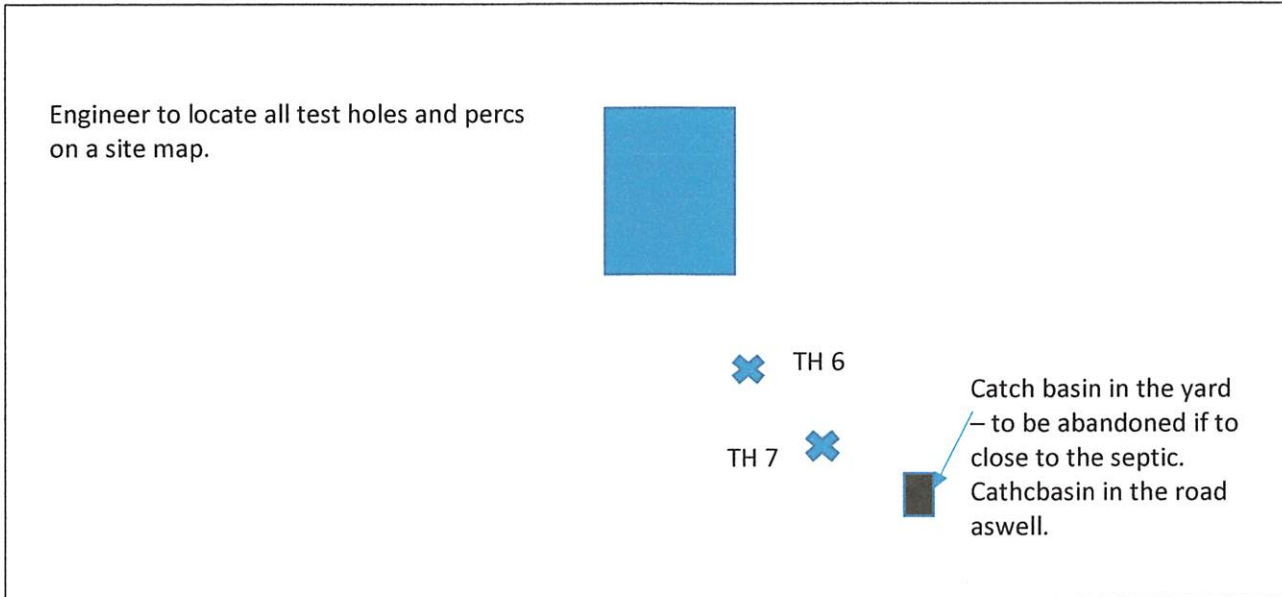
DATE: _____ (Record all Perc Tests)

PERC:			PERC:		
DEPTH:			DEPTH:		
PRESOAK:			PRESOAK:		
TIME	READING	Min/in	TIME	READING	Min/in
PERC RATE:			PERC RATE:		

COMMENTS: Perc To be performed by the Engineer

SPECIAL CONDITIONS		CONCLUSIONS	
Design Flow > 2000 GPD		Suitable for Sewage Disposal	TH 6. TH 7 (remove fill)
Public Water Supply Watershed		Unsuitable for Sewage Disposal	TH 1,2,3,4,5
Probable High Groundwater		Additional Investigation Req'd	
Slope > 25 percent		Wet Season Monitoring Req'd	
Perc Rate < 1 min/inch		Retest During Wet Season	
Perc Rate > 30 min/inch		Licensed Engineer Plan Req'd	
Ledge < 5 feet below grade		Other:	
Limited Suitable Area	X		
Open Watercourse or Wetlands	X		
Flood Plain / Seasonal Flooding			
Max. G.W. < 36 inches below grade			

LOCATION DRAWING INCLUDING ALL TEST PITS AND PERCOLATION HOLES



DESIGN RECOMMENDATIONS/COMMENTS Floor plans to be submitted with B100a application. This property also has a proposed Vineyard and Wedding barn facility. Much of the site has had earth removal and fill material brought in if, during installation fill material is found, it must be stripped down to native soil, and approved fill brought in.

Form completed by: Cheryl Haase

(Certified Local Health Agent or P.E.)

Accuracy assured by (If P.E. completed form): _____

(Certified Local Health Agent)

Others present for site investigation (Engineer, developer, installer etc.) Rachel York and Sergio Cherenzia (Cherenzia & Ass

APPENDIX C:

Wetland Report



AVIZINIS

ENVIRONMENTAL
SERVICES INC

WETLAND REPORT

SITE LOCATION:
Portion of - Map 122, Lot 2660
113 Pendleton Hill Road
North Stonington, Co

PREPARED FOR:
Cherenzia & Associates, Ltd
99 Mechanic Street
Pawcatuck, CT 06379

PREPARED (March 31, 2021) BY:


Edward J. Avizinis, CPSS, PWS | President



INTRODUCTION

Avizinis Environmental Services, Inc., (AES), has completed the requested field work at the 113 Pendleton Hill Road address in North Stonington. I visited the site on March 26, 2021 to delineate regulated inland wetland features that both occur within the closest vicinity of the existing structure on the property.

The State of Connecticut regulates wetlands and watercourses of the state via the 1972 Inland Wetlands and Watercourses Act (Sections 22a-36 to 22a-45, inclusive, of the Connecticut General Statutes). The regulatory authority to uphold the provisions of the act is carried out by the towns therein. The Town of North Stonington subsequently promulgated the latest version of the town regulations, the Inland Wetlands and Watercourses Regulations of the Town of North Stonington (March 22, 2002).

Consistent with these wetland regulations, AES has delineated three wetland features on the property. Flagging and other benchmarks were located with a Spectra SP20 decimetric GPS/GNSS. This data has been forwarded to you should you find it useful in preliminary planni

EXISTING CONDITIONS

The property is located extending west from Pendleton Hill Road and a rural area of North Stonington. The property contains a dilapidated home on an expansive agricultural field. There are inland wetlands on the property to the south and west. There is a watercourse that emanates from a culvert under Pendleton Hill Road that flows southwest through a drainage way. There are pockets of freshwater wetlands associated with the stream that also reside in the drainageway. The closest extent of these features as they are situated in relation to the house and surrounding area have been delineated by AES.

Historic aerial photographs show little change to the property over the past decades. The earliest available photographs from 1934 show the property similar to how it is today however with more open agricultural fields. Slight revegetation of the some of the open space can be seen in the subsequent aerial photographs. Much of the vegetation recolonizing is primarily invasive species including Russian olive (*Eleagnus umbelata*), Asiatic bittersweet (*Celastrus*

orbiculatus), Japanese honeysuckle (*Lonicera japonica*), multiflora rose (*Rosa multiflora*), and Morrow's honeysuckle (*Lonicera morrowii*), among others.

WETLAND FEATURES

There are three regulated features that have been delineated within close proximity to the project area. Flagging labeled A1 – A9 defines the closest bank of a watercourse (intermittent stream) that flows south through the property. Flagging labeled B1 – B6 defines the limit of a pocket of wetland associated with the stream. And finally, flagging labeled C1 – C5 delineates a second portion of wetland associated with the intermittent stream that continues south and west. These flag series receive the same regulatory protection in the form of a 100-foot upland review area.

Any activities that may alter the wetland features or the 100-foot upland review area, will require review from the North Stonington Inland Wetland Agency.

CLOSING

Thank you for the opportunity to provide this service. Any proposed alterations to the lot that may impact the regulated areas as outlined in this report will require a review and approval from the Inland Wetland Agency. Please review the attached information and maps representing the findings of my field work. Do not hesitate to let me know if you have any questions and best of luck moving forward with this project.

SITE MAP

1) WETLAND DELINEATION MAP over 2020 Aerial Photograph



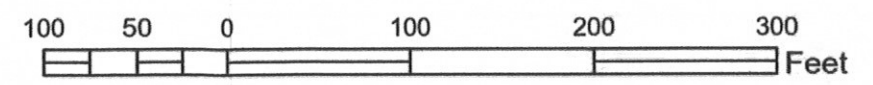
WETLAND DELINEATION MAP
 Portion of - Map 122, Lot 2660
 113 Pendleton Hill Road
 North Stonington, Connecticut

LEGEND

- ◆ Stream Flag
- + Wetland Flag
- Stream
- Property Line
- Wetland
- 100-ft Upland Review Area

General Notes:

1. This map should not be interpreted as a survey quality graphic. It is designed for preliminary planning purposes only. AES recommends consultation with a Professional Land Surveyor for accurate site feature locations.
2. Property lines as depicted on this map have been approximated from plat maps available from the town assessor's online database.
3. Aerial photograph base map acquired from the R1 DEM and RIGIS database.
4. Performed by Edward J. Avizinis, CPSS, PWS on March 26, 2021. Site features located with Spectra SP20 GPS unit.



ESRI Community Maps Contributors, MassGIS, UConn, etc.

KINGDOM OF THE HAWK - TASTING ROOM SITE DEVELOPMENT PLANS

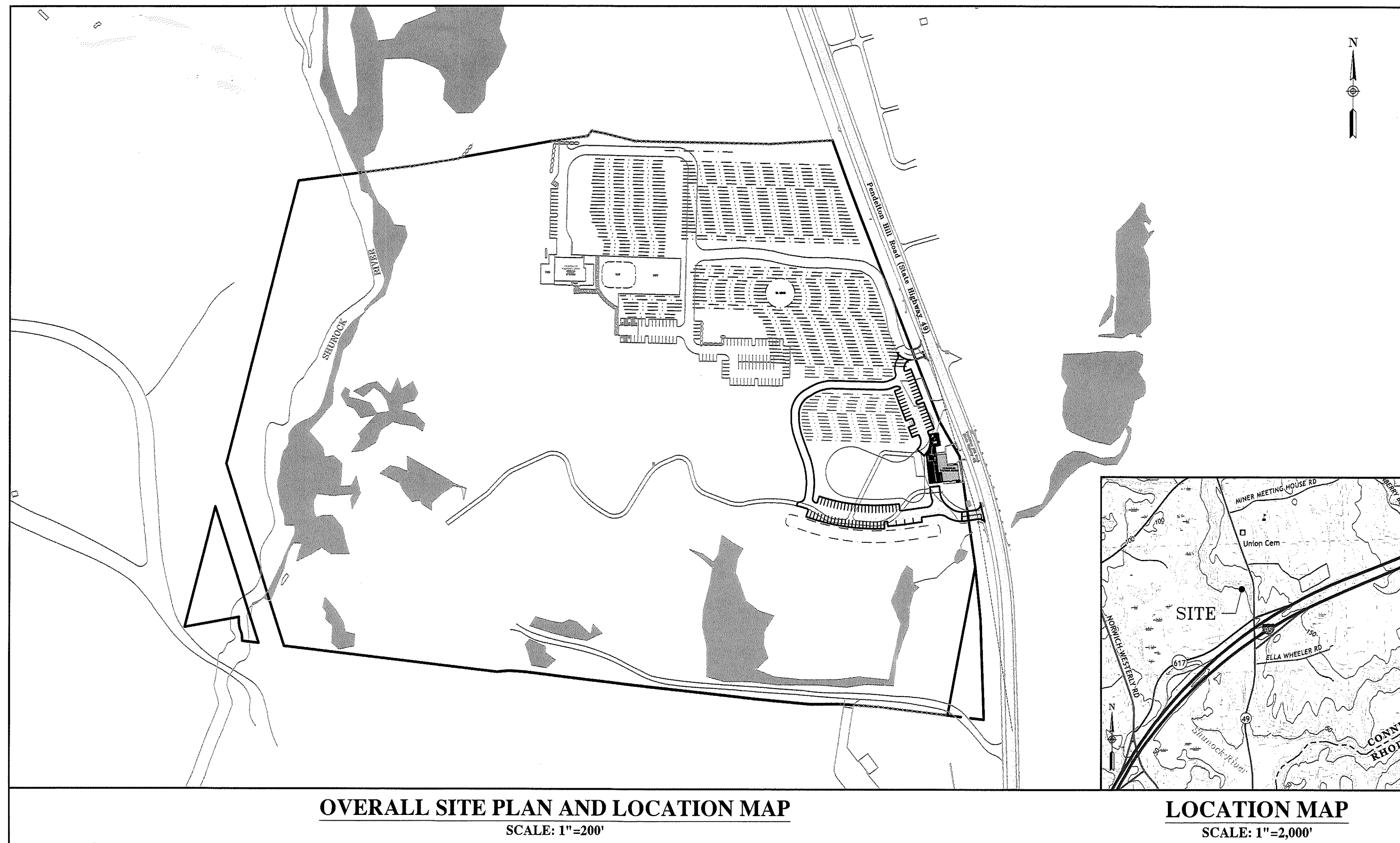
113 PENDLETON HILL AVENUE
MAP 122 LOT 2660
NORTH STONINGTON, CONNECTICUT

ISSUED FOR PERMITTING

PREPARED FOR
KINGDOM OF THE HAWK, LLC

DATE ISSUED: MAY 6, 2021

Sheet List Table	
Sheet Number	Sheet Title
C-0	COVER SHEET
C-1	LEGEND AND GENERAL NOTES
C-2	OVERALL SITE PLAN
C-3	SITE PLAN
C-4	GRADING, DRAINAGE AND UTILITIES
C-5	SOIL EROSION AND SEDIMENT CONTROL PLAN
C-6	DETAILS SHEET 1
C-7	DETAILS SHEET 2
SUPPLEMENTAL SHEETS	
SHEET 1 OF 3	OVERALL BOUNDARY
SHEET 2 OF 3	EXISTING CONDITIONS PLAN
SHEET 3 OF 3	EXISTING CONDITIONS PLAN
L1-1	LIGHTING PLAN



OVERALL SITE PLAN AND LOCATION MAP
SCALE: 1"=200'

LOCATION MAP
SCALE: 1"=2,000'

APPROVED BY THE NORTH STONINGTON PLANNING AND ZONING COMMISSION

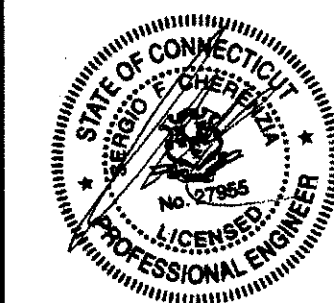
CHAIRMAN / SECRETARY _____ DATE _____

NOTE:
SITE PLAN APPROVED BY THE NORTH STONINGTON PLANNING AND ZONING COMMISSION.

ON _____

ISSUED FOR PERMITTING

OWNER/APPLICANT
KINGDOM OF THE HAWK, LLC
349 ELM STREET
STONINGTON, CT 06378



KINGDOM OF THE HAWK
TASTING ROOM
113 PENDLETON HILL ROAD
MAP 122 LOT 2660
NORTH STONINGTON, CONNECTICUT
CA JOB # 219099

CHERENZIA & ASSOCIATES, LTD.
99 Mechanic St. P.O. Box 513
Pawcatuck, CT 06379 Westerly, RI 02891
Tel: 860.629.6500 Tel: 401.596.7747
Fax: 860.599.6090
Civil Engineers
Land Surveyors
Land Use Planners
Environmental Engineers
www.cherenzia.com

received
3/6/21

LEGEND

Table with columns: EXIST, PROP, GENERAL NOTES, EXIST, PROP. It lists various symbols and their corresponding descriptions for site features like curbs, manholes, pipes, and utilities.

ABBREVIATIONS

Table of abbreviations and their full names, such as ABAN for ABANDON, ADJ for ADJUST, and MAX for MAXIMUM.

GENERAL NOTES

- 1. THESE PLANS AND THEIR CORRESPONDING ELECTRONIC DOCUMENTS... 2. UPON AWARD OF THE CONTRACT... 3. THE CONTRACTOR SHALL NOTIFY... 4. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS...

UTILITIES

- 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH ALL UTILITY COMPANIES... 2. PRIVATE UTILITIES... 3. EXISTING UTILITIES ARE SHOWN IN THEIR APPROXIMATE LOCATION... 4. WHERE AN EXISTING UTILITY IS FOUND TO BE IN CONFLICT WITH THE PROPOSED WORK...

LAYOUT AND MATERIALS NOTES

- 1. THE CONTRACTOR SHALL NOT RELY SOLELY ON ELECTRONIC VERSIONS OF PLANS, SPECIFICATIONS, AND DATA FILES THAT ARE OBTAINED FROM THE DESIGNERS...

- 2. SYMBOLS AND LEGENDS OF PROJECT FEATURES ARE GRAPHIC REPRESENTATIONS AND ARE NOT NECESSARILY SCALED TO THE ACTUAL DIMENSIONS... 3. DIMENSIONS ARE TO/FROM FACE OF CURB, FACE OF BUILDING, FACE OF WALL, AND CENTER LINE OF PAVEMENT MARKINGS...

DEMOLITION

- 1. WITHIN THE LIMIT OF WORK/DISTURBANCE, THE CONTRACTOR SHALL CLEAR AND GRUB ALL EXISTING VEGETATION AND STOCKPILE AND SCREEN TOPSOIL FOR RE-USE IN LANDSCAPE AREAS... 2. WITHIN THE PROPOSED BUILDING ENVELOPE AND TO A DISTANCE OF 10 FEET AROUND THE BUILDING PERIMETER...

EROSION CONTROLS/CONSTRUCTION SEQUENCING

- 1. PRIOR TO THE START OF CONSTRUCTION OF ANY EARTHWORK ACTIVITIES, THE CONTRACTOR SHALL NOTIFY ALL APPLICABLE AGENCIES AND INSTALL THE EROSION CONTROL MEASURES SHOWN ON THESE PLANS... 2. THE CONTRACTOR SHALL KEEP A COPY OF THE 'SOIL EROSION AND SEDIMENTATION CONTROL PLAN' (SESC) AND THE APPROVED PLAN SET AT THE CONSTRUCTION SITE AT ALL TIMES...

INFILTRATION AREAS

- 1. THESE AREAS SHALL NOT BE USED FOR TEMPORARY CONSTRUCTION SEDIMENTATION CONTROL, TEMPORARY SEDIMENTATION TRAPS, OR DEWATERING AREAS... 2. THESE AREAS SHALL REMAIN OFF-LINE UNTIL THE ENTIRE CONSTRUCTION AREA CONTRIBUTING TO THESE AREAS HAS BEEN STABILIZED WITH BUILDINGS, BUILDING FOUNDATIONS, PAVEMENT, OR VEGETATION...

CHERENZIA & ASSOCIATES, LTD. logo and contact information including address, phone, and website.

PLAN REVISIONS table with columns: REV. NO., DATE, DESCRIPTION, DWN BY, CHK BY.

SCALE: N.T.S. CA JOB #210909 MAY 4, 2021 DRAWN BY: SETB CHECK BY: SFC

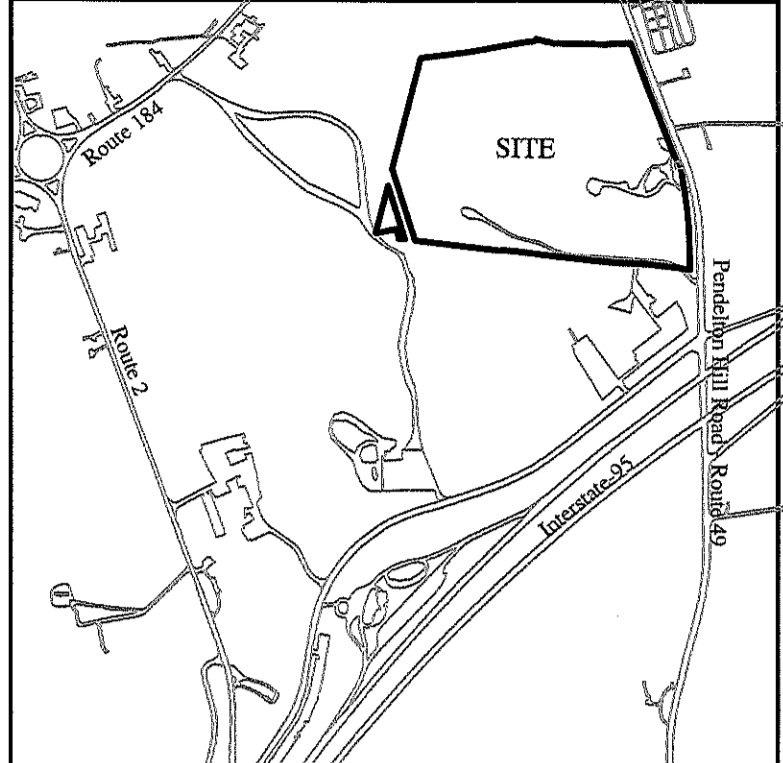
ISSUED FOR PERMITTING

LEGEND & GENERAL NOTES

KINGDOM OF THE HAWK TASTING ROOM 113 PENDELTON HILL ROAD MAP 122 LOT 2660 NORTH STONINGTON, CONNECTICUT

PREPARED FOR KINGDOM OF THE HAWK, LLC.

Professional Engineer seal for the State of Connecticut and the page number C-1.



LOCATION MAP

- NOTE:
- SEE A-2 HORIZONTAL, T-2 & T-D VERTICAL SURVEY PLAN TITLED: COMPREHENSIVE BOUNDARY & TOPOGRAPHIC SURVEY PREPARED FOR KINGDOM OF THE HAWK, LLC 32 BROADWAY AVENUE PLAT 122 LOT 3660 NORTH STONINGTON, CONNECTICUT SCALE 1"=100' & 1"=40' JULY 22, 2020 SHEET 1 OF 3 THROUGH 3 OF 3 CHERENZIA & ASSOCIATES, LTD. PAWCATUCK, CONNECTICUT
 - THE ENTIRE SUBJECT PARCEL LIES WITHIN THE X & AE SPECIAL FLOOD HAZARD ZONE, AS DELINEATED ON THE FIRM FLOOD INSURANCE RATE MAP FOR TOWN OF NORTH STONINGTON, CONNECTICUT, MAP NUMBER 09011C041H, MAP REVISED: APRIL 3, 2009.
 - LIMITS OF FLOOD HAZARD ZONE ARE APPROXIMATE AND ARE SCALED FROM THE FEDERAL FLOOD HAZARD MAPS (PROPERTY LIES WITHIN THE FLOOD ZONE AE & X). THIS LOT DOES NOT INCLUDE LAND AREAS WITHIN THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S 100-YEAR FLOOD HAZARD AREA (PROPOSED DEVELOPMENT OF THE PROPERTY LIES WITHIN THE FLOOD ZONE X).
 - TOWN OF NORTH STONINGTON LAND DISTURBANCE APPLICATION NUMBER 20-028.
 - CONNECTICUT DEPARTMENT OF TRANSPORTATION (CTDOT) FOR THE CURB CUT APPROVED AUGUST 27, 2020.
 - THE ENTIRE PARCEL LIES WITHIN THE WSPOA.

- LEGEND**
- PROPOSED BUILDING
 - PROPOSED PAVEMENT DRIVE
 - PROPOSED TERRAZZO PAVERS (SEE DETAIL ON SHEET C-3)
 - PROPOSED BITUMINOUS PAVEMENT (SEE DETAIL ON SHEET C-3)

PLAN REVISIONS

REV. NO.	DATE	DESCRIPTION	DWN BY	CHK BY

SCALE: 1" = 80'
 CA JOB #219099
 MAY 4, 2021

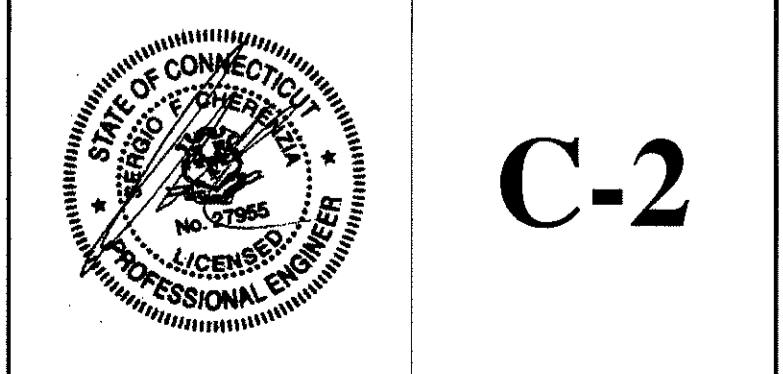
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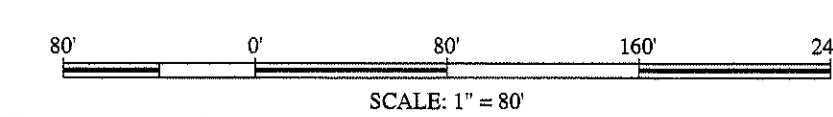
OVERALL SITE PLAN

KINGDOM OF THE HAWK TASTING ROOM
 113 PENDLETON HILL ROAD
 MAP 122 LOT 2660
 NORTH STONINGTON, CONNECTICUT

PREPARED FOR
KINGDOM OF THE HAWK, LLC.



C-2



N/F
 MSS Realty
 Plat 117 Lot 6778
 Book 225 Page 1098

N/F
 Matilda Properties, LLC
 Plat 117 Lot 65
 Book 220 Page 147

N/F Assoc.
 Conterary Lot 1735

N/F Trustees
 Robert H Boissevain
 Plat 117 Lot 2208
 Book 222 Page 208

N/F America INC
 Kempsomans of 4765
 Plat 181 Lot 1107
 Book 181 Page 1107

N/F
 Robert H Boissevain Trustee
 Plat 122 Lot 3195
 Book 110 Page 125

N/F
 Quinlan Enterprises, LLC
 Plat 122 Lot 7634
 Book 216 Page 635

- L=5.57, R=104.39
- L=6.74, R=84.24
- L=8.02, R=111.33
- L=9.48, R=128.75
- L=11.55, R=154.52
- L=13.99, R=182.33
- L=16.71, R=212.06
- L=19.78, R=243.75
- L=23.29, R=277.45
- L=27.34, R=314.15
- L=31.93, R=352.81
- L=37.16, R=393.49
- L=43.04, R=436.16
- L=49.57, R=480.89
- L=56.74, R=528.56
- L=64.56, R=578.25
- L=72.94, R=634.94
- L=81.88, R=698.61
- L=91.39, R=769.16
- L=101.47, R=845.68
- L=112.14, R=928.25
- L=123.39, R=1016.81
- L=135.24, R=1115.36
- L=147.69, R=1221.91
- L=160.74, R=1334.56
- L=175.39, R=1456.31
- L=190.64, R=1589.16
- L=207.49, R=1744.01
- L=225.84, R=1946.56
- L=245.69, R=2163.91
- L=267.04, R=2398.16
- L=289.89, R=2642.61
- L=314.24, R=2909.76
- L=340.09, R=3194.41
- L=367.44, R=3515.76
- L=396.29, R=3946.56
- L=426.64, R=4408.81
- L=458.49, R=4933.16
- L=491.84, R=5513.41
- L=526.69, R=6177.76
- L=563.94, R=6997.01
- L=602.69, R=7910.26
- L=642.94, R=8922.41
- L=684.69, R=10061.16
- L=727.94, R=11344.61
- L=772.69, R=12771.76
- L=818.94, R=14722.41
- L=866.69, R=17284.76
- L=915.94, R=19953.01
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- L=1073.69, R=30223.26
- L=1130.94, R=34317.41
- L=1189.69, R=38341.76
- L=1250.94, R=42528.01
- L=1313.69, R=46934.76
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- L=1446.69, R=56786.26
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- L=1742.69, R=76994.01
- L=1822.94, R=81876.26
- L=1905.69, R=87001.01
- L=1990.94, R=91327.76
- L=2078.69, R=95146.01
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- L=2356.94, R=104641.76
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- L=9221.94, R=80398.76
- L=9413.69, R=63137.01
- L=9606.94, R=36212.76
- L=9801.69, R=10000.01

Zoning Chart
 (Based On EDD: Economic Development District)

	Required	Provided
Lot Area (SF)	200,000 SF	2,347,940 SF
Frontage (FT)	200 FT	1154 FT
Maximum Imp Cover	70%	0.70%
Maximum Height	50 FT	< 50 FT
Principal Building (FT)	50 FT	< 50 FT
Building Setback		
- Front Setback (FT)	35 FT	8 FT **
- Rear Setback (FT)	20 FT	1765.1 FT **
- Side Setback (FT)	20 FT	590.5 FT **

** - Existing Structure Setbacks

Parking Chart

	Required*	Provided
Std. Spaces	18	79
ADA Spaces	1	2
Total Spaces	19	81

* Required Parking Calculation
 Total Building Square Footage = 2854SF
 Places of Public Assembly: 1 Space/3 Seats = 55 Seats/3 = 19 Spaces
 Accessible Spaces: 2 Space
 Total Parking Spaces Required = 19 Spaces
 Total Parking Proposed = 81 Spaces

- NOTE:
1. THERE IS A REDUCTION IN IMPERVIOUS AREA FROM 0.84% TO 0.70%.
 2. TRASH WILL BE TAKEN TO THE CURB VIA TRASH RECEPTACLES DURING THE APPROPRIATE TRASH COLLECTION DAY.

LEGEND

- PROPOSED BUILDING
- PROPOSED GRASS PARKING/DRIVE
- PROPOSED PERVIOUS PAVERS
- PROPOSED BITUMINOUS PAVEMENT

PLAN REVISIONS

REV. NO.	DATE	DESCRIPTION	DWN BY	CHK BY

SCALE: 1" = 40'
 CA JOB #219099
 MAY 4, 2021
 DRAWN BY: SETB
 CHECK BY: SFC

ISSUED FOR PERMITTING

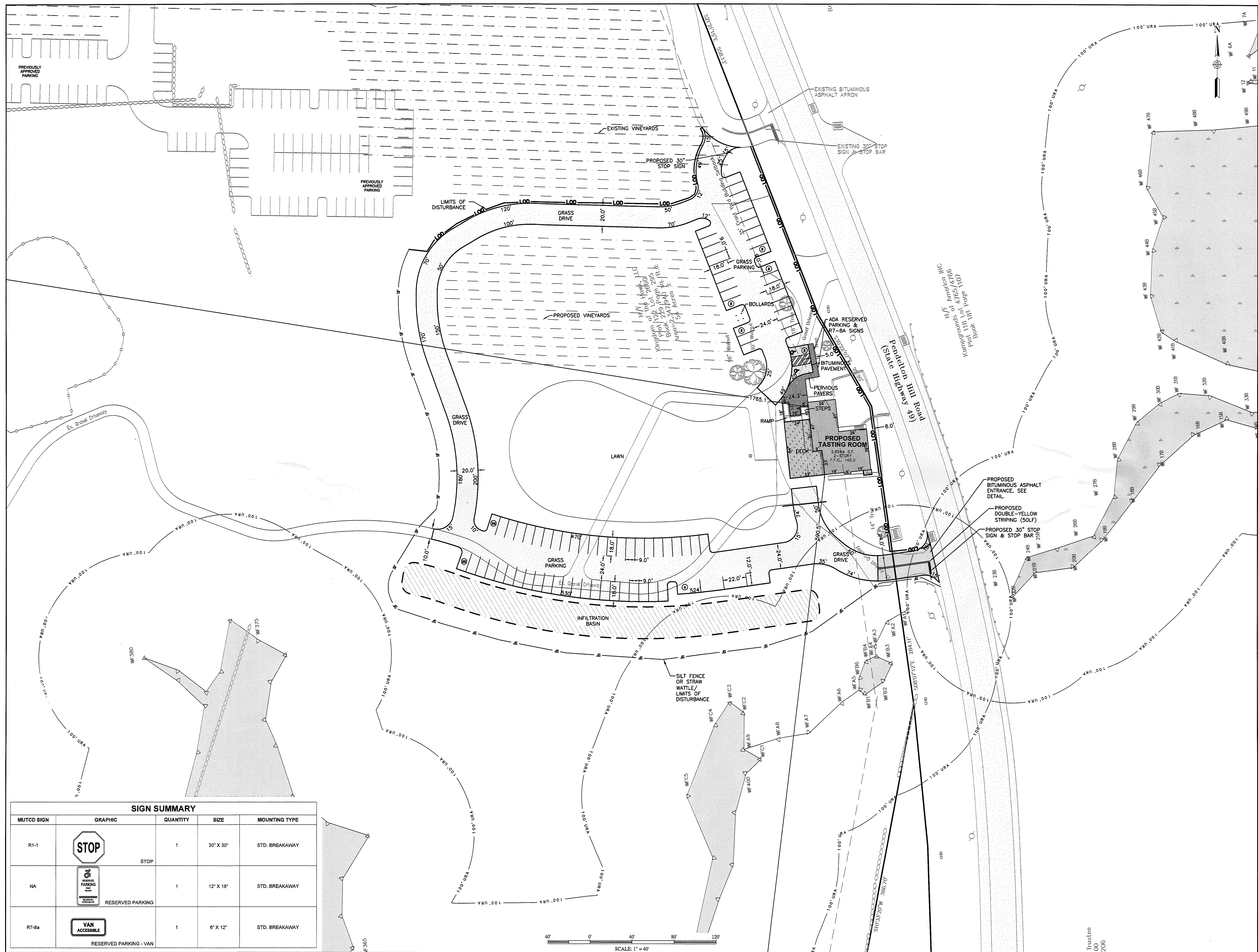
SITE PLAN

KINGDOM OF THE HAWK TASTING ROOM
 113 PENDLETON HILL ROAD
 MAP 122 LOT 2660
 NORTH STONINGTON, CONNECTICUT

PREPARED FOR
KINGDOM OF THE HAWK, LLC.

Professional Engineer Seal for State of Connecticut, License No. 27585, dated 04/2019 to 04/2024.

C-3



SIGN SUMMARY

MUTCD SIGN	GRAPHIC	QUANTITY	SIZE	MOUNTING TYPE
R1-1	STOP	1	30" X 30"	STD. BREAKAWAY
NA	RESERVED PARKING	1	12" X 18"	STD. BREAKAWAY
R7-8a	VAN ACCESSIBLE	1	6" X 12"	STD. BREAKAWAY

SCALE: 1" = 40'



- NOTE:
- ALL ROOF LEADERS TO BE DIRECTED TO THE PROPOSED INFILTRATION AREAS
 - SEE A-2 HORIZONTAL, T-2 & T-D VERTICAL SURVEY TITLED: COMPREHENSIVE BOUNDARY & TOPOGRAPHIC SURVEY PREPARED FOR KINGDOM OF THE HAWK, LLC 32 BROADWAY AVENUE FLAT 122 LOT 2660 NORTH STONINGTON, CONNECTICUT SCALE 1"=100' & 1"=40' JULY 22, 2020 SHEET 1 OF 3 THROUGH 3 OF 3 CHERENZIA & ASSOCIATES, L.P. PAWCATUCK, CONNECTICUT
 - THE ENTIRE SUBJECT PARCEL LIES WITHIN THE X & SPECIAL FLOOD HAZARD ZONE, AS DELINEATED ON FLOOD INSURANCE RATE MAP FOR TOWN OF NORTH STONINGTON, CONNECTICUT, MAP NUMBER 09011C00 MAP REVISED: APRIL 3, 2020.
 - LIMITS OF FLOOD HAZARD ZONE ARE APPROXIMATE (PROPERTY LIES WITHIN THE FLOOD ZONE AE & X). THIS DOES NOT INCLUDE LAND AREAS WITHIN THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S 100-YEAR FLOOD HAZARD AREA (PROPOSED DEVELOPMENT OF THE PL LIES WITHIN THE FLOOD ZONE X).
 - TOWN OF NORTH STONINGTON LAND DISTURBANCE APPLICATION NUMBER 20-028.
 - CONNECTICUT DEPARTMENT OF TRANSPORTATION (CT) CURB CUT APPROVED AUGUST 27, 2020.
 - BUILDINGS OR BOLLARDS TO BE PLACED ALONG STEEP SLOPES IN PARKING AREA.
 - THE ENTIRE PARCEL LIES WITHIN THE W.SPOA.
 - THE ROOF DRAINS AROUND THE PERIMETER WILL BE APPROVED TIGHT PIPE PER CT PUBLIC HEALTH CODE 3) AND THE BUILDING IS TO HAVE NO FOOTING DRAINS. THE BUILDING REQUIRES FOOTING DRAINS. THE PROPOSED SEPTIC TANK WILL NEED TO MEET THE 25 FOOT SEPARATION DISTANCE.

LEGEND

[Solid Grey Box]	PROPOSED BUILDING
[White Box]	PROPOSED GRASS PARKING/DRIVE
[Cross-hatched Box]	PROPOSED PERVIOUS PAVERS (SEE DETAIL ON SHEET C-7)
[Stippled Box]	PROPOSED BITUMINOUS PAVEMENT (SEE DETAIL ON SHEET C-7)

PLAN REVISIONS

REV. NO.	DATE	DESCRIPTION

SCALE: 1" = 40'
 CA JOB #219099
 MAY 4, 2021

DRAWN BY: SET
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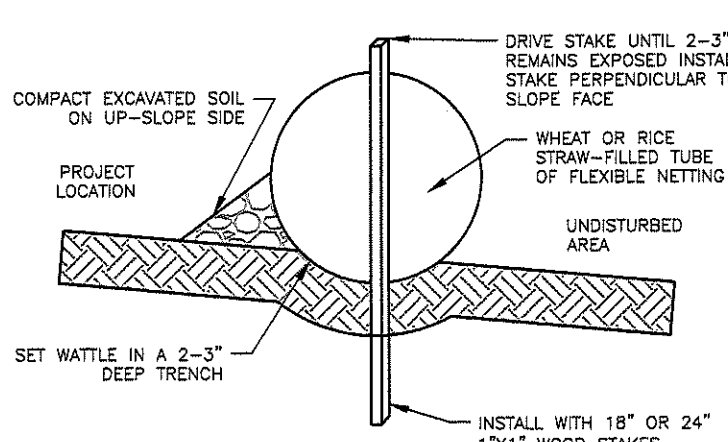
GRADING, DRAINAGE, & UTILITY PLAN

KINGDOM OF THE HAWK TASTING ROOM
 113 PENDLETON HILL ROAD
 MAP 122 LOT 2660
 NORTH STONINGTON, CONNECTICUT

PREPARED FOR
KINGDOM OF THE HAWK, LLC

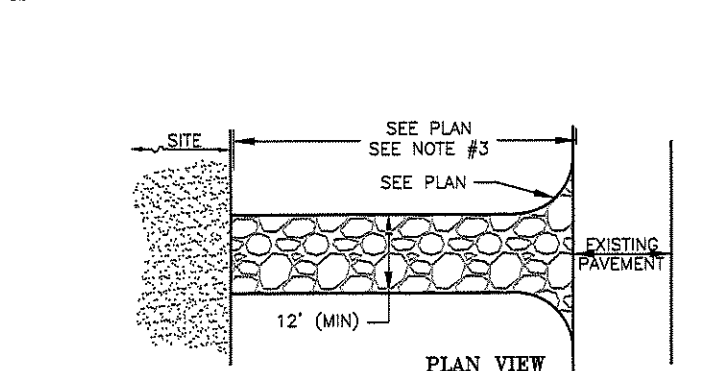


SLOPE STEEPNESS	MAXIMUM LENGTH (FT)
2:1	25
3:1	50
4:1	75
5:1 OR FLATTER	100



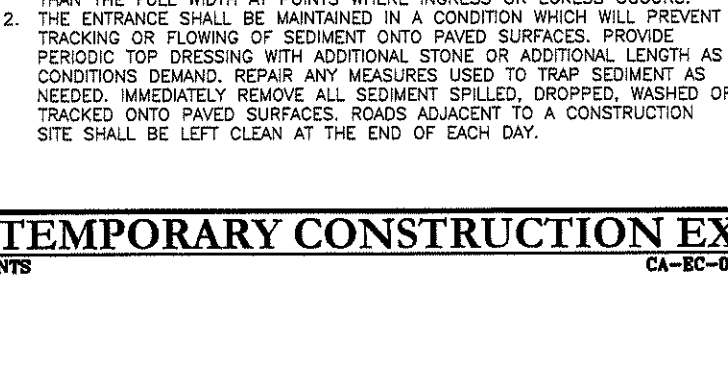
- NOTES:**
1. BEGIN AT THE LOCATION WHERE THE WATTLE IS TO BE INSTALLED BY EXCAVATING A 2-3" DEEP X 6" WIDE TRENCH ALONG THE CONTOUR OF THE SLOPE. EXCAVATED SOIL SHALL BE PLACED UP-SLOPE FROM THE ANCHOR TRENCH.
 2. PLACE THE WATTLE IN THE TRENCH SO THAT IT CONTOURS TO THE SOIL SURFACE. COMPACT THE SOIL FROM THE EXCAVATED TRENCH AGAINST THE WATTLE ON THE UP-HILL SIDE. ADJACENT WATTLES SHOULD TIGHTLY ABUT.
 3. SECURE THE WATTLE WITH 18-24" STAKES EVERY 3-4' WITH A STAKE ON EACH END. STAKES SHALL BE DRIVEN THROUGH THE MIDDLE OF THE WATTLES LEAVING AT LEAST 1/2" OF STAKE EXTENDING ABOVE THE WATTLE. STAKES SHALL BE DRIVEN PERPENDICULAR TO SLOPE FACE.
 4. MAX. DRAINAGE AREA ≤ 0.25 ACRES/100 LINEAR FEET.

STRAW WATTLE
CA-BC-006



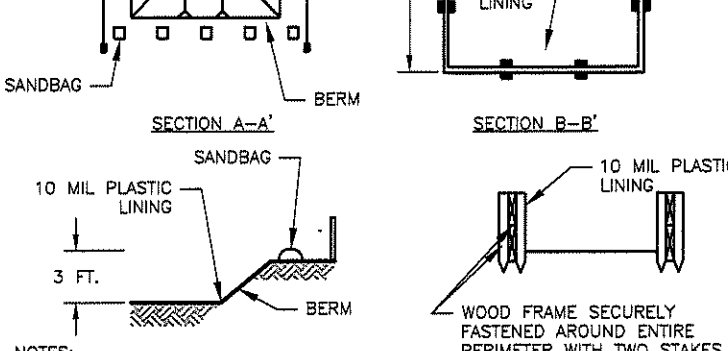
- NOTES:**
1. ENTRANCE WIDTH SHALL BE TWELVE (12) FEET WIDE MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
 2. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT INTO PAVED SURFACES. PERIODIC TOP DRESSING WITH ADDITIONAL STONE OR ADDITIONAL LENGTH AS CONDITIONS DEMAND BEFORE ANY REPAIRS USED TO TRAP SEDIMENT AS NEEDED. IMMEDIATELY REMOVE ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PAVED SURFACES. CLEANED AT A CONSTRUCTION SITE SHALL BE LEFT CLEAN AT THE END OF EACH DAY.

TEMPORARY CONSTRUCTION EXIT
CA-BC-006



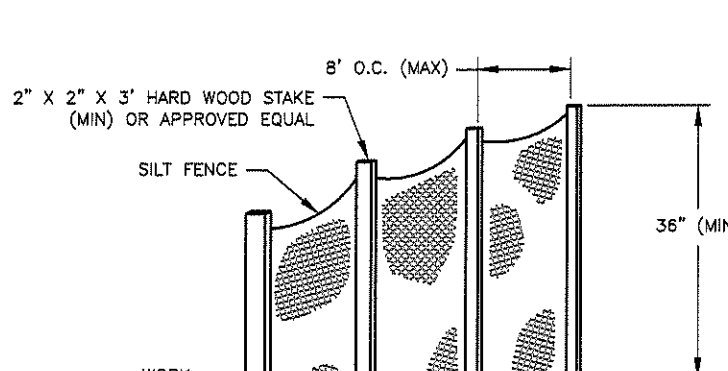
- NOTES:**
1. ACTUAL LAYOUT DETERMINED IN THE FIELD.
 2. LOCATE A MIN. OF 50 FEET FROM STORM DRAINS, OPEN CHANNELS, WATER BODIES, AND JURISDICTIONAL WETLANDS.
 3. SOIL BASE SHALL BE PREPARED FREE OF ROCKS OR OTHER DEBRIS THAT COULD CAUSE A TEAR IN THE LINER.
 4. THE BERM SHALL REMAIN IN PLACE UNTIL THE SITE HAS BEEN STABILIZED WITH STORM DRAINS, OPEN DITCHES, OR WATER BODIES, INCLUDING ALL JURISDICTIONAL WETLANDS.

TEMPORARY CONCRETE WASHOUT FACILITY
CA-BC-009



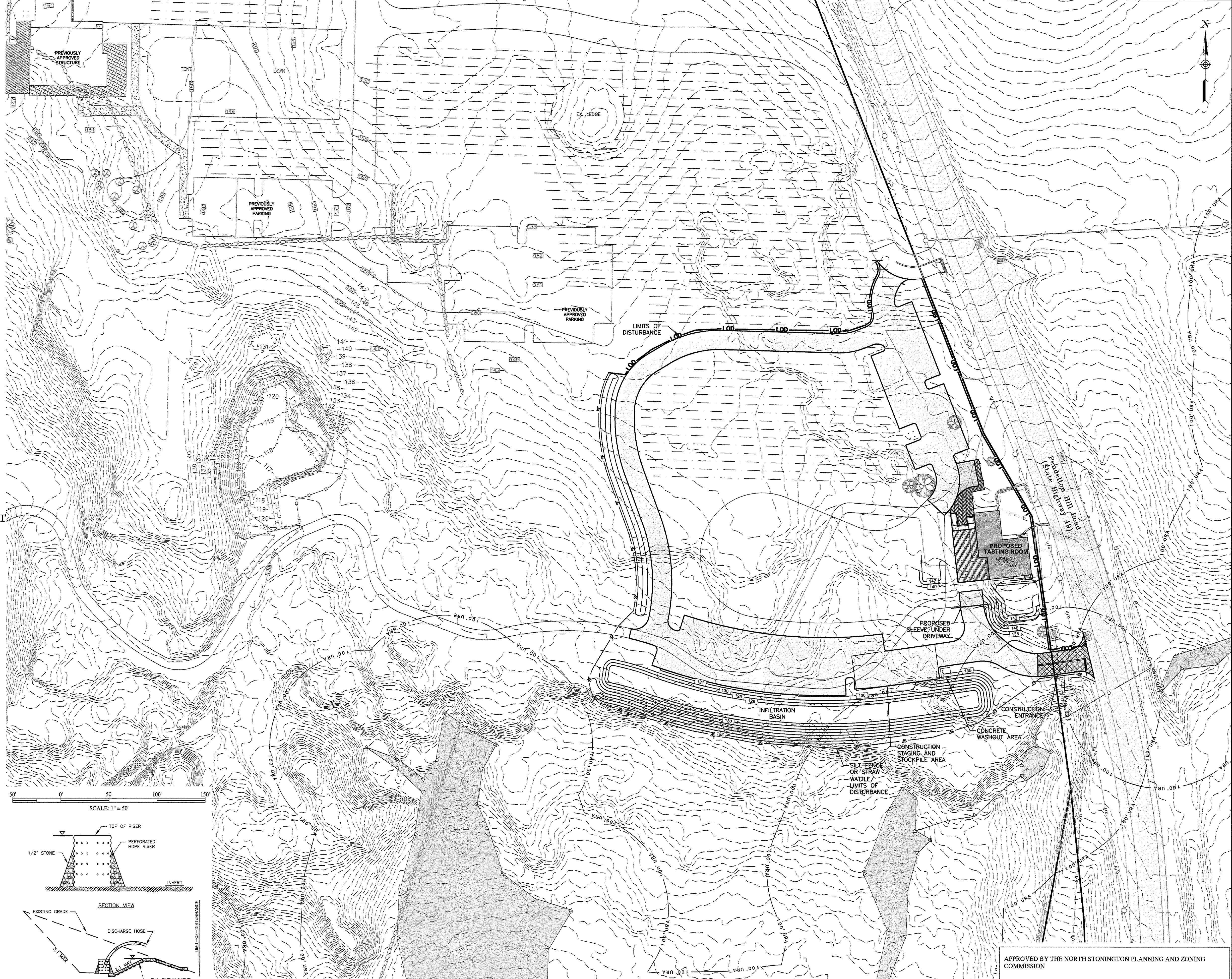
- NOTES:**
1. SILT FENCE SHALL BE LOCATED AT 10' FROM TOE OF SLOPE FOR MAINTENANCE.
 2. WIRE FENCING - 8" MESH OPENING (MAX) AND 14 GAUGE (MIN).
 3. MAINTAIN UNTIL UP-GRADE AREAS HAVE BEEN PERMANENTLY STABILIZED.

SILT FENCE
CA-BC-001



- NOTES:**
1. TRAP CAPACITY: TEMPORARY SEDIMENT TRAP 134 CY/CONTRIBUTING ACRE
 2. TOTAL MIN. STORAGE VOLUME = 1' X CONTRIBUTING AREA.
 3. SEDIMENT SHALL BE REMOVED WHEN THE BASIN IS 1/2 FULL AT A MINIMUM.
 4. THE BASIN SHALL REMAIN IN PLACE UNTIL THE SITE HAS BEEN STABILIZED WITH BUILDINGS, PAVEMENT, OR ESTABLISHED VEGETATION, AS APPLICABLE.

TEMPORARY SEDIMENT TRAP
CA-BC-007



CHERENZIA & ASSOCIATES, LTD.
Civil Engineers
Land Use Planners
Environmental Engineers
99 Mechanic St.
Pawcatuck, CT 06379
Tel: 860.629.6500
Fax: 860.599.6090
P.O. Box 513
Westerly, RI 02891
Tel: 401.596.7747
www.cherenzia.com

LEGEND

- PROPOSED BUILDING
- PROPOSED GRASS PARKING/DRIVE
- PROPOSED PERVIOUS PAVERS (SEE DETAIL ON SHEET C-7)
- PROPOSED BITUMINOUS PAVEMENT (SEE DETAIL ON SHEET C-7)

PLAN REVISIONS

REV. NO.	DATE	DESCRIPTION	DWN BY	CHK BY

SCALE: 1" = 50'
CA JOB #219099
MAY 4, 2021

DRAWN BY: SETB
CHECK BY: SFC

ISSUED FOR PERMITTING

SOIL EROSION SEDIMENTATION CONTROL PLAN

KINGDOM OF THE HAWK TASTING ROOM
113 PENDELTON HILL ROAD
MAP 122 LOT 2660
NORTH STONINGTON, CONNECTICUT

PREPARED FOR
KINGDOM OF THE HAWK, LLC.

APPROVED BY THE NORTH STONINGTON PLANNING AND ZONING COMMISSION

CHAIRMAN / SECRETARY _____ DATE _____

NOTE:
EROSION AND SEDIMENT CONTROL PLAN CERTIFIED BY VOTE OF THE NORTH STONINGTON PLANNING AND ZONING COMMISSION.

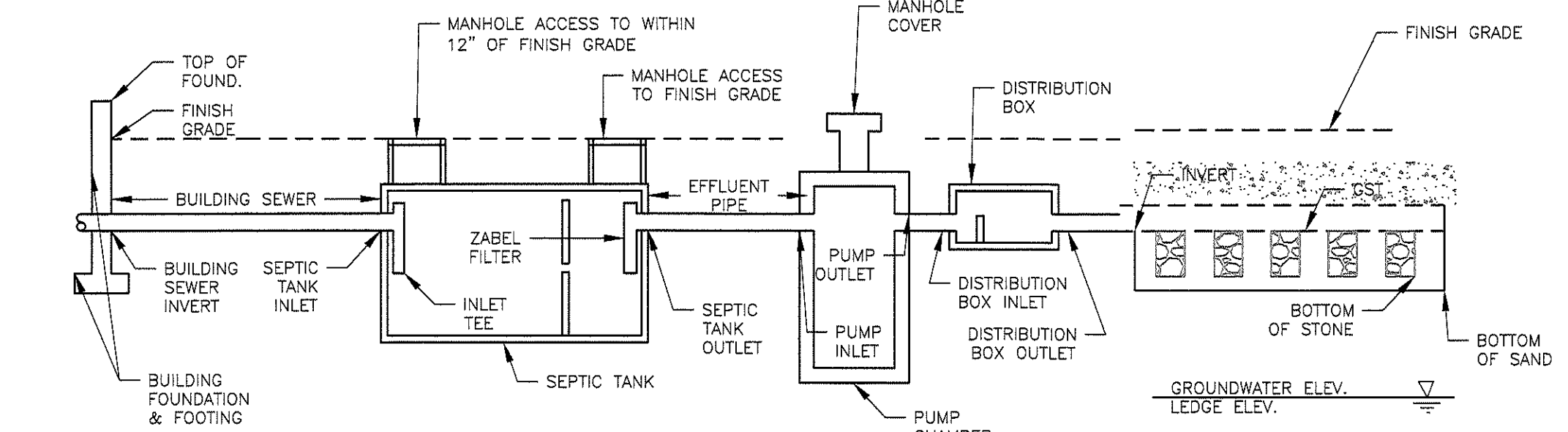
C-5

- EROSION CONTROL CONSTRUCTION SEQUENCING**
1. PRIOR TO THE START OF CONSTRUCTION OF ANY EARTHWORK ACTIVITIES, THE CONTRACTOR SHALL NOTIFY ALL APPLICABLE AGENCIES AND INSTALL THE EROSION CONTROL MEASURES SHOWN ON THESE PLANS IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL PERMITS PERTAINING TO THIS PROJECT.
 2. THE CONTRACTOR SHALL KEEP A COPY OF THE "SOIL EROSION AND SEDIMENTATION CONTROL PLAN" (SESC) AND THE APPROVED PLAN SET AT THE CONSTRUCTION SITE AT ALL TIMES.
 3. THE CONTRACTOR SHALL INSTALL ALL EROSION AND SEDIMENTATION (E&S) CONTROL MEASURES SHOWN ON THE PLAN SET IN ACCORDANCE WITH THE MOST RECENT EDITION OF THE "CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL".
 4. THE CONTRACTOR SHALL BE RESPONSIBLE TO MAINTAIN AND/OR UPGRADE THESE MEASURES AS NECESSARY THROUGHOUT CONSTRUCTION TO MEET THE REQUIREMENTS OF ALL REGULATORY AGENCIES FOR THIS PROJECT.
 5. THE CONTRACTOR SHALL PREPARE AND MAINTAIN A RED-LINED COPY OF THE SESC PLAN SHOWING INTERIM AREAS FOR STAGING, STOCKPILING, WASHOUT, SOIL WASTE CONTAINMENT, CONSTRUCTION ENTRANCE/EXIT AND TEMPORARY SEDIMENTATION CONTROL AREAS. ALL SUCH AREAS SHALL BE LOCATED OUTSIDE OF REGULATED WETLAND AREAS OR AREAS INTENDED FOR INFILTRATION PRACTICES.
- EROSION CONTROL DEVICES**
- a. AT LEAST ONE STABILIZED CONSTRUCTION ENTRANCE/EXIT SHALL BE INSTALLED FOR ACCESS TO THE PROJECT BY CONSTRUCTION VEHICLES. THE CONSTRUCTION ENTRANCE SHALL BE INSTALLED BEFORE CONSTRUCTION VEHICLES WILL BE ALLOWED TO ENTER THE CONSTRUCTION SITE. ADDITIONAL ENTRANCE/EXITS SHALL BE INSTALLED IF MORE THAN ONE ACCESS POINT IS INDICATED BY THE CONTRACTOR. A WASH OUT PAD MAY ALSO BE INSTALLED TO WASH CONSTRUCTION VEHICLES EXITING THE SITE.
 - b. ROADS ADJACENT TO THE CONSTRUCTION SITE SHALL BE CLEAN AT THE END OF EACH WORKDAY.
 - c. TEMPORARY SEDIMENT TRAPS MAY BE EXCAVATED OR BERMED/DYKED AND SHALL BE SIZED IN ACCORDANCE WITH THE "CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL". DISCHARGE LOCATIONS FROM THESE BASINS SHALL BE STABILIZED TO PREVENT EROSION.
 - d. STRAW WATTLES AND/OR SILT BARRIERS SHALL BE INSTALLED AT ALL DOWN-SLOPE CATCH BASINS WITHIN THE LIMIT OF WORK TO CONTROL EROSION AND SEDIMENTATION AND TO PROTECT SENSITIVE AREAS. THESE DEVICES SHALL BE INSTALLED AS SHOWN ON THE SOIL EROSION SEDIMENT CONTROL PLAN PRIOR TO INITIATION OF MAJOR SITE WORK ACTIVITIES AND SHALL BE MAINTAINED REPAIRED UNTIL FINAL STABILIZATION OF ALL DISTURBED AREAS.
 - e. SILT FENCE SHALL BE INSTALLED AROUND ALL BARRIERS AND FRONTS, WHEN APPLICABLE. ACCUMULATED SEDIMENTS SHALL BE REMOVED FROM THE SITE OR PLACED AWAY FROM WETLANDS AND CLOSED DRAINAGE SYSTEMS.
 - f. ALL OTHER EROSION CONTROL DEVICES SHOWN ON THESE PLANS SHALL BE IN ACCORDANCE WITH THE "CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENTATION CONTROL".
- CONSTRUCTION PRACTICES**
1. THE EROSION CONTROL MEASURES SHOWN ON THESE PLANS ARE INTENDED TO BE THE MINIMUM NECESSARY AT THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE TO MAINTAIN AND SUPPLEMENT THESE EROSION CONTROLS AS NECESSARY THROUGHOUT CONSTRUCTION TO PREVENT DAMAGE TO WETLANDS AND/OR SURROUNDING PROPERTIES.
 2. THE CONTRACTOR SHALL PREVENT DIRT, DEBRIS OR SEDIMENTS FROM LEAVING THE SITE DURING CONSTRUCTION AND SHALL BE RESPONSIBLE TO REPAIR, CLEAN UP OR TAKE OTHER CORRECTIVE ACTION IMMEDIATELY OR NO LATER THAN 24 HOURS AFTER ANY SUCH AREAS.
 3. THE CONTRACTOR SHALL CONTROL CONSTRUCTION STORMWATER RUNOFF IN SUCH A MANNER AS TO PREVENT DAMAGE TO DOWN-SLOPE PROPERTIES. ANY PROPERTIES SO DAMAGED SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
 4. THE CONTRACTOR SHALL INSPECT ALL EROSION CONTROL DEVICES ON A WEEKLY BASIS AND WITHIN 15 HOURS AFTER A RAINFALL EVENT. THE CONTRACTOR SHALL IMMEDIATELY REPAIR DAMAGED DEVICES AND SHALL REMOVE ACCUMULATED SEDIMENTS IN ACCORDANCE WITH LOCAL REQUIREMENTS AND PERMITS, WHEN APPLICABLE. ACCUMULATED SEDIMENTS SHALL BE REMOVED FROM THE SITE OR PLACED AWAY FROM WETLANDS AND CLOSED DRAINAGE SYSTEMS.
 5. THE CONTRACTOR SHALL MAKE EVERY EFFORT TO PERFORM EARTHWORK IN PHASES THAT ALLOW FOR STABILIZATION OF THESE AREAS IN A RELATIVELY SHORT TIME PERIOD AND TO DISCOURAGE EROSION AND SEDIMENTATION. ANY EXPOSED SOILS INTENDED TO REMAIN FOR MORE THAN 14 DAYS SHALL BE STABILIZED WITH MULCH, OR TEMPORARY SEED AND WATERED TO ENCOURAGE VEGETATION.
 6. THE CONTRACTOR SHALL INSTALL PERMANENT SEEDING BETWEEN APRIL 15TH AND THE 15TH AND/OR AUGUST 15TH TO OCTOBER 15TH.
 7. THE CONTRACTOR SHALL APPLY PERMANENT SOIL STABILIZATION MEASURES TO ALL GRADED AREAS WITHIN SEVEN (7) DAYS OF ESTABLISHING FINAL GRADE.
 8. THE CONTRACTOR SHALL PERFORM A FINAL INSPECTION OF ALL EXISTING CATCH BASINS, DRAINAGE PIPING, AND ASSOCIATED DRAINAGE STRUCTURES WITHIN THE PROJECT LIMITS TO ENSURE THAT ALL SEDIMENTS HAVE BEEN REMOVED BEFORE WORK IS DEEMED COMPLETE.
 9. THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL SESC MEASURES ONLY AFTER FINAL PAYMENT IS PLACED AND VEGETATION IN LANDSCAPE AREAS IS WELL ESTABLISHED.

- SYSTEM NOTES:**
- LEACHFIELD TO BE GST 624.
 - REMOVE ALL LOAM AND ROOTS BENEATH LEACHFIELD.
 - SEPTIC TANK TO BE 1500 GALLON PRECAST CONCRETE RISER AND MANHOLE TO BE INSTALLED AT GRADE.
 - SOLID DISTRIBUTION PIPE FOLLOWING SEPTIC TANK SHALL BE 4" PVC SCHEDULE 40 ASTM D 1785 OR EQUAL.
 - BUILDING SEWER FROM FOUNDATION WALL TO SEPTIC TANK SHALL BE 4" PVC SCHEDULE 40 ASTM D 1785 OR EQUAL.
 - REMOVE ALL TREES AND BRUSH FOR A DISTANCE OF 10' BEYOND PROPOSED LEACHFIELD ON ALL SIDES.
 - THERE ARE NO EXISTING OR PROPOSED WELLS WITHIN 75' OF PROPOSED SEPTIC SYSTEM.
 - ALL DISTURBED AND/OR FILL AREAS TO BE GRADED TO FINISH GRADE AND SEEDED WITH GRASS.
 - SHOULD ANY SIGNIFICANT VARIATIONS FROM TEST HOLE DATA SHOWN (LEDGE, WATER, MOTTILING, SOIL TYPE) BE DISCOVERED BY THE CONTRACTOR, THE ENGINEER SHALL BE NOTIFIED PRIOR TO CONSTRUCTION OF THE SYSTEM.
 - SDS DESIGN AND APPROVAL IS BASED UPON SOIL EVALUATIONS CONDUCTED IN ACCORDANCE WITH CONNECTICUT PUBLIC HEALTH CODE - ON-SITE SEWAGE DISPOSAL REGULATIONS AND TECHNICAL STANDARDS FOR SUBSURFACE SEWAGE DISPOSAL SYSTEMS. LOCATION OF SOIL EVALUATIONS ARE SHOWN ON THE SITE PLAN. UNFORSEEN SOIL CONDITIONS OUTSIDE THE REPRESENTATIVE SOIL EVALUATIONS MAY RESULT IN ADDITIONAL EXCAVATION OF UNSUITABLE MATERIAL TO BE REMOVED AND/OR PLACED DURING CONSTRUCTION.

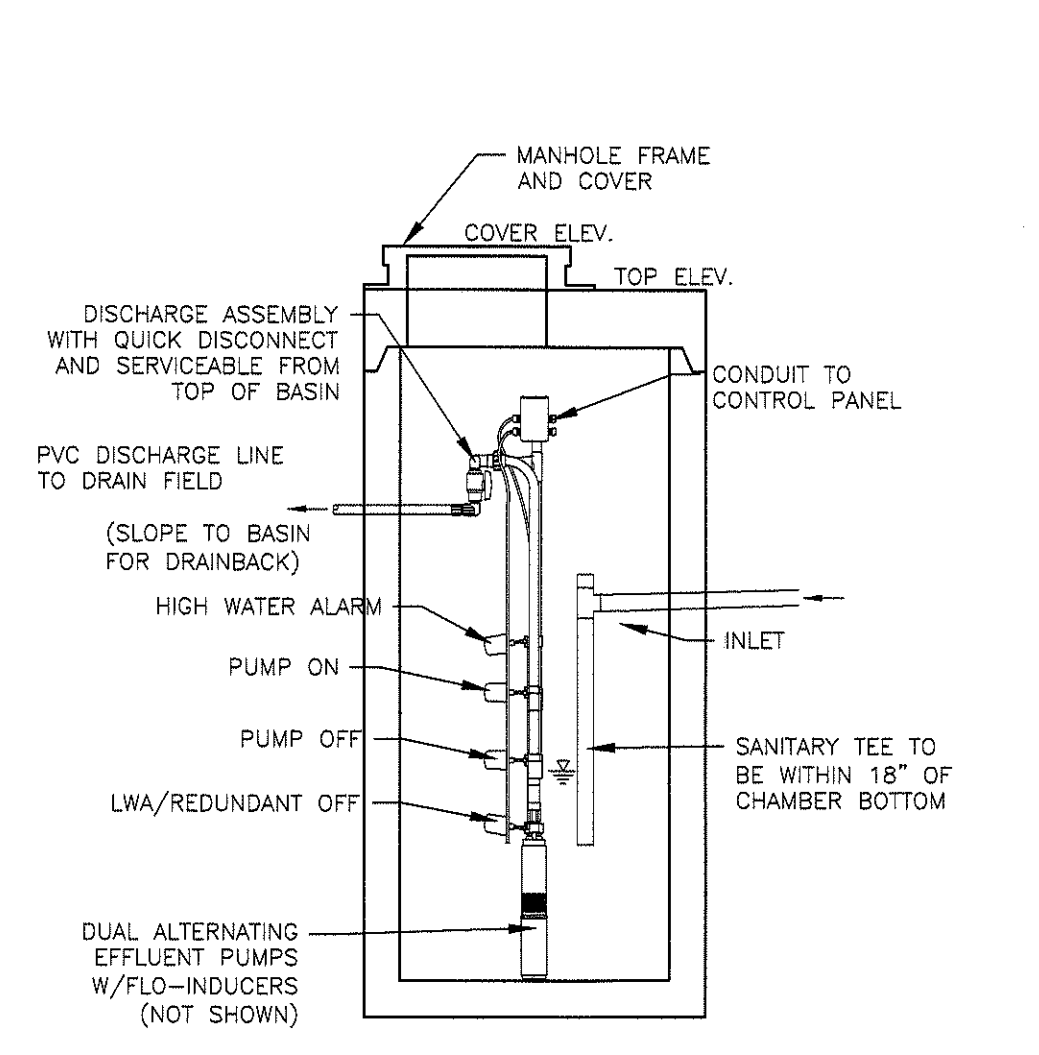
- SUBSURFACE SEWAGE DISPOSAL SYSTEM DESIGN DATA:**
- ONE (1) BEDROOM RESIDENCE. DESIGN PERC. RATE OF LESS THAN 10.0 MPI FLOW RATE = 1 BEDROOM X 150 GPD = 150 GPD FIFTY-FIVE (55) BAR/COCKTAIL LOUNGE SEATS (NO MEALS) FLOW RATE = 55 SEATS X 15 GPD = 825 GPD TOTAL DESIGN FLOW = 150 GPD + 825 GPD = 975 GPD
 - ELA ONE BEDROOM RESIDENCE. TABLE 6 = 375 SF / 2 = 187.5 SF FIFTY-FIVE SEATS. TABLE 8 = 825 GPD / 0.8 GPD/SF = 1,032 SF TOTAL ELA = 187.5 SF + 1,032 SF = 1,219.5 SF
 - USE GST 624 EFFECTIVE LEACHING AREA = 18.1 SF/LF 1,219.5 SF / 18.1 SF/LF = 68 LF REQUIRED DESIGN USE GST 624 2 ROWS OF 34 FEET GST 624 = 68 LF (2 X 68 LF X 18.1 SF/LF = 1,239.8 SF EFFECTIVE LEACHING AREA SUPPLIED).
 - NO PLANS FOR LARGE TUB OR GARBAGE DISPOSAL IN PROPOSED DEVELOPMENT.

- MSS** - RECEIVING SOIL DEPTH GREATER THAN 60" THEREFORE MSS IS NOT REQUIRED.
- PUMP CALCULATIONS**
- DESIGN FLOW FROM PUMP CHAMBER TO LEACHFIELD IS 81.25 GALLONS EACH DOSE (975 GALLONS/12 DOSES = 81.25 GAL/DOSE).
 - DRAIN BACK FOR 92 FEET OF 2" FORCE MAIN IS 14.69 GALLONS.
 - TOTAL VOLUME TO BE PUMPED PER CYCLE IS 95.94 GALLONS.
 - DIAMETER PUMP CHAMBER = 12.56 SQ.FT. X 1 FT = 12.56 SQ.FT. 12.56 CU.FT. X 7.48 GAL/CU.FT. = 93.95 GAL/FT IN PUMP CHAMBER. 95.94 GALLONS / 93.95 GAL/CU.FT. = 1.02 FT BETWEEN ON AND OFF ELEVATIONS. TOTAL PUMP CHAMBER VOLUME FROM INLET INVERT TO BOTTOM: (140.45 - 134.2) X 95.94 = 599.63 GALLONS.
 - ALL PUMPS SHALL BE EQUIPPED WITH A HIGH WATER LEVEL VISIBLE AND AUDIBLE ALARM POWERED BY A CIRCUIT SEPARATE FROM THE PUMP POWER. THE ALARM SHALL BE LOCATED IN A NORMALLY OCCUPIED AREA OF THE FACILITY.
 - DISCHARGE ASSEMBLY DRAWN TO SHOW KEY COMPONENTS - ALL PIPING AND FITTINGS SHALL BE INSTALLED TO ENSURE DRAIN-BACK INTO THE PUMP BASIN TO AVOID FREEZING OF SHALLOW BURY DISCHARGE PIPING (WHERE APPLICABLE).



BUILDING SEWER	FINISH FLOOR ELEV.: 152.0	PUMP CHAMBER (LARGE)	PUMP TYPE: DUAL ALT. PFS005	GST 624	FINISH GRADE: 150.1-150.6
FINISH GRADE: 151.9±	FINISH GRADE INVERT: 149.75	PUMP CHAMBER DIAMETER: 4 FEET	PUMP CHAMBER COVER ELEV.: 149.0	INVERT: 148.67	INVERT: 148.67
BUILDING SEWER LENGTH: 22 FEET	BUILDING SEWER SLOPE: 2.3%	PUMP CHAMBER TOP ELEV.: 148.0	PUMP CHAMBER INLET INVERT: 146.75	BOTTOM OF SAND: 146.5	BOTTOM OF SAND: 146.5
BUILDING SEWER PIPE SIZE/TYP: 4" SDR 35 PVC		PUMP CHAMBER INLET INVERT: 147.25	PUMP CHAMBER OUTLET INVERT: 147.25	10' FILL PERIMETER MIN. ELEV.: 148.67	DISCHARGE PIPE SIZE: 4" SCH 40 PVC
		HIGH LEVEL ALARM ELEV.: 148.5	PUMP ON ELEV.: 148.0	LEACHFIELD DESIGN POINT	
		PUMP OFF ELEV.: 145.79	SEPTIC TANK INLET INVERT: 149.25	GROUNDWATER ELEV.: NOT APPLICABLE	
		SEPTIC TANK INLET INVERT: 149.0	SEPTIC TANK OUTLET INVERT: 141.0	GROUNDWATER SEPARATION: NOT APPLICABLE	
		EFFLUENT PIPE LENGTH: 5 FEET	DISCHARGE ASSEMBLY SIZE: 2" SCH 40 PVC	LEDGE ELEV.: 142.34	LEDGE SEPARATION: 4.16 FEET
		DISCHARGE PIPE SIZE: 2" SCH 40 PVC			
		DISTRIBUTION BOX	FINISH GRADE: 150.6		
		FINISH GRADE: 149.01	DIST. BOX INLET INVERT: 148.84		
		DIST. BOX OUTLET INVERT: 148.84			

SEPTIC SCHEMATIC
NTS CA-0-000



PUMP CHAMBER DETAIL
NTS CA-0-01B



Promoting healthy communities

Property Address: 113 Pendleton Hill Rd Town: North Stonington

DEEP TEST PIT DATA/SOIL DESCRIPTIONS

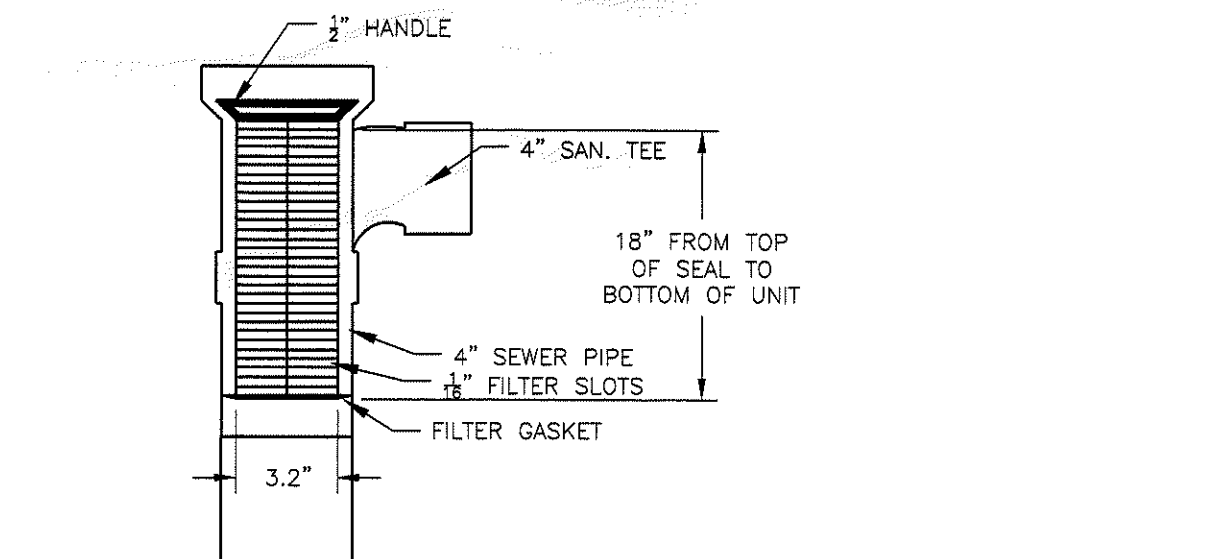
TEST PIT: 1	TEST PIT: 2	TEST PIT: 3	TEST PIT: 4
0-108 Fill Unsuitable	0-90 Fill Unsuitable	0-80 Fill Unsuitable	0-84 Unsuitable
Mottles:	Mottles:	Mottles:	Mottles:
GW:	GW:	GW:	GW: 74
Ledge:	Ledge:	Ledge:	Ledge:
Roots to:	Roots to:	Roots to:	Roots to:
Restrictive:	Restrictive:	Restrictive:	Restrictive:
TEST PIT: 5	TEST PIT: 6	TEST PIT: 7	
0-84 Fill Unsuitable	0-24 Top Soil 24-54 Light Br, med sand 54-87 Gray Tan, Med coarse with cobbles	near a catch basin (needs to be relocated). 0-54 Fill 54-86	
Mottles:	Mottles:	Mottles:	
GW:	GW:	GW:	
Ledge:	Ledge:	Ledge:	
Roots to:	Roots to:	Roots to:	
Restrictive:	Restrictive:	Restrictive:	

GROUNDWATER TABLE (Near max., below max., etc.):
SOIL MOISTURE (high, medium, low, etc.):

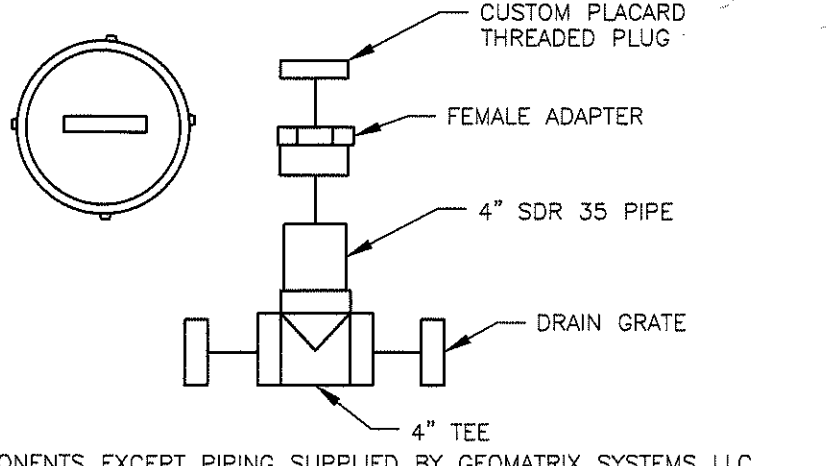
PERCOLATION TEST RESULTS
PERCOLATION TEST 2/10/2021
WITNESSED BY SERGIO F. CHERENZIA, PE FROM CHERENZIA & ASSOCIATES, LTD.

TIME INTERVAL	DEPTH (IN)	PERC. RATE (MIN/IN)
0	0	0.00
10	6	1.67
20	11	2.00
30	13.5	4.00
40	15	6.67
50	16	10.00
60	17.5	6.67

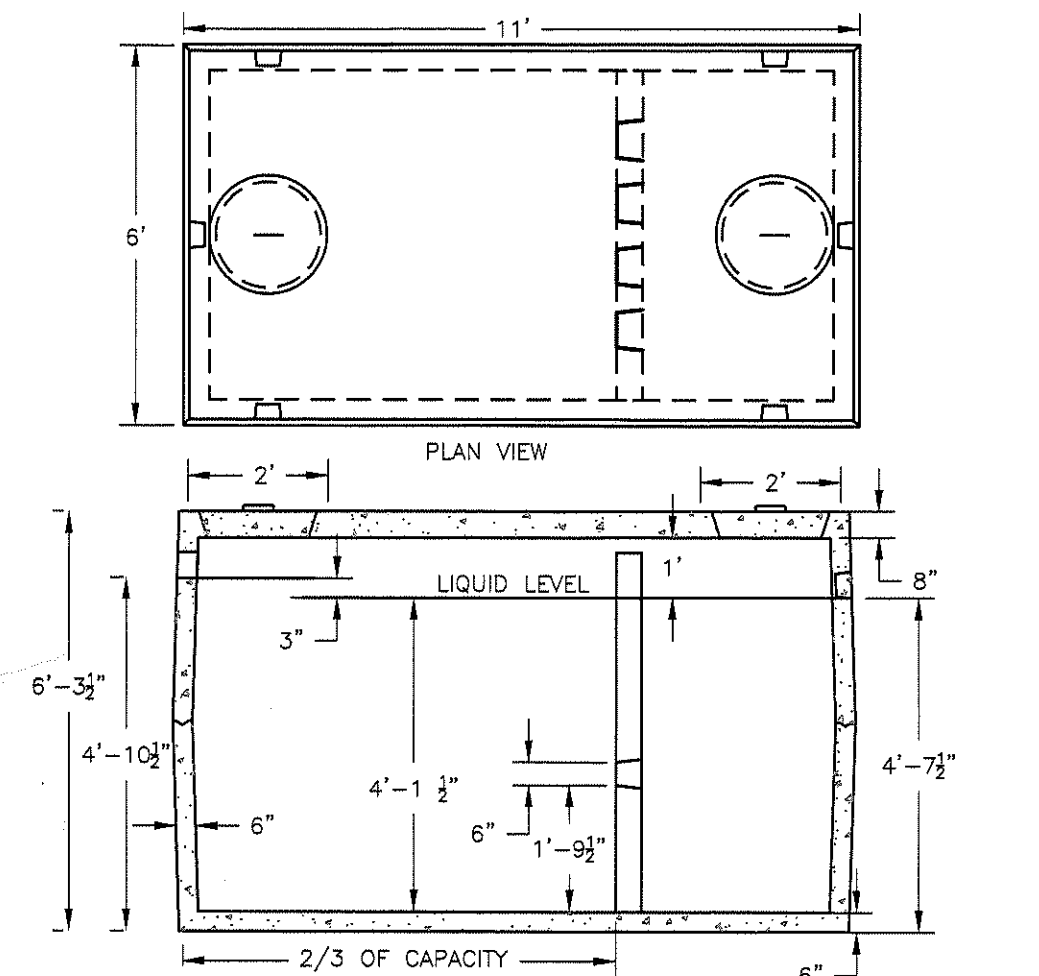
TOTAL DEPTH: 24 INCHES FROM ORIGINAL GRADE
AVERAGE PERC RATE: 4.43
MAXIMUM PERC RATE: 10.00



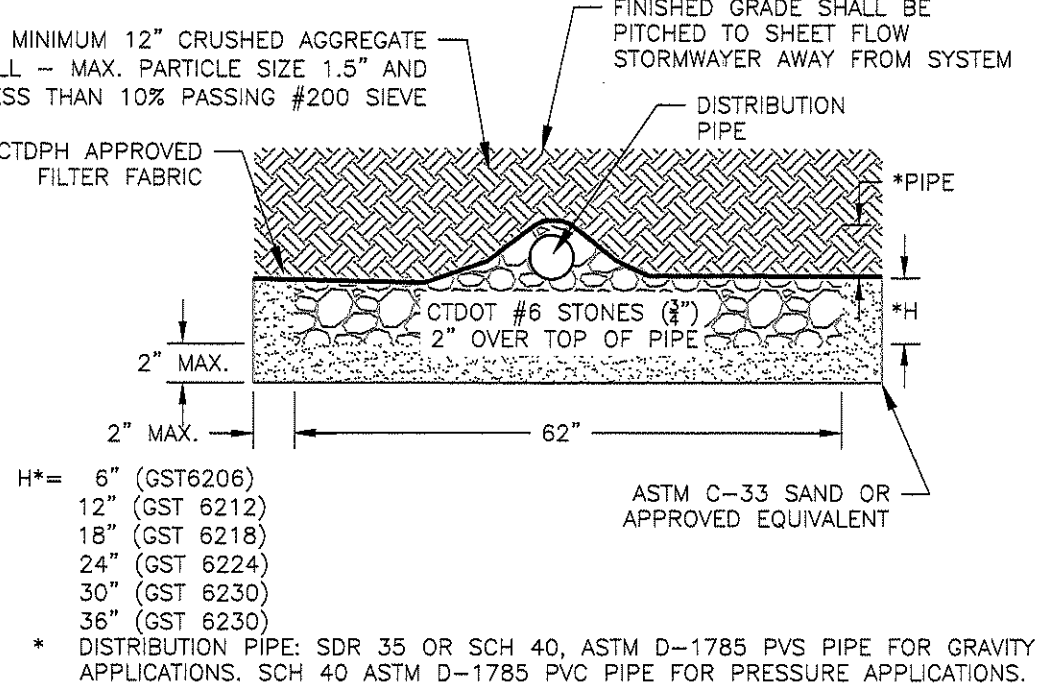
ZABEL FILTER DETAILS
NTS CA-0-007A



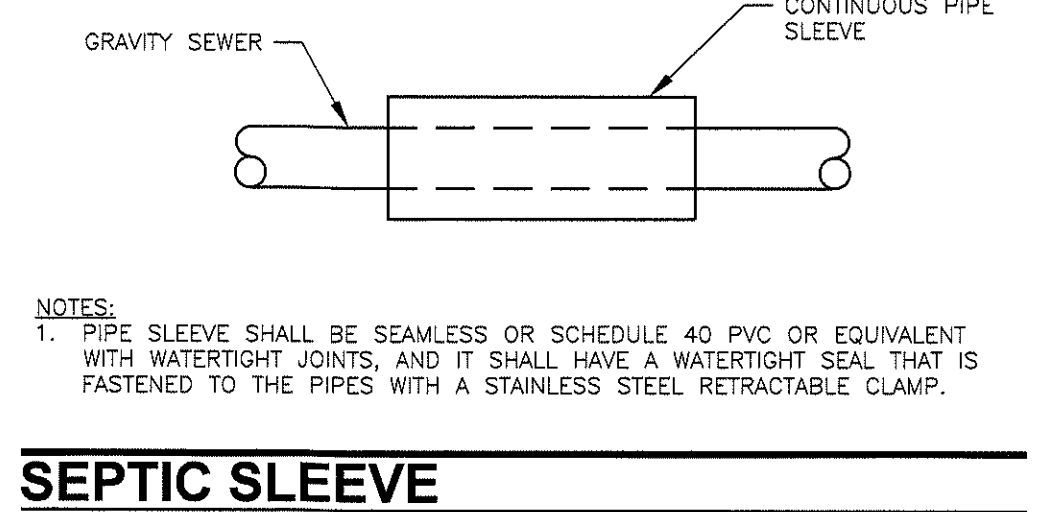
GST INSPECTION PORT
NTS CA-0-004F2



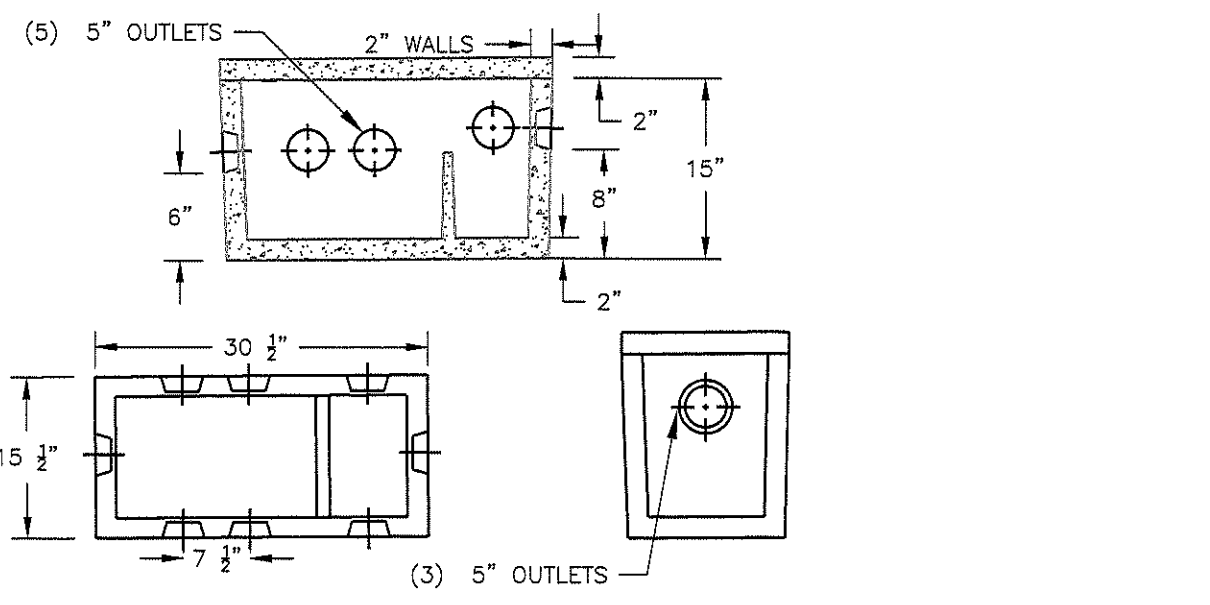
1,500 GALLON H-20 TWO COMPARTMENT SEPTIC TANK
NTS CA-0-008A.4



GST LEACHING SYSTEM
NTS CA-0-004F1



SEPTIC SLEEVE
NTS CA-0-040



DB-5 DISTRIBUTION BOX
NTS CA-0-02B

CHERENZIA & ASSOCIATES, LTD.
Civil Engineers
Land Surveyors
Land Use Planners
Environmental Engineers
99 Mechanic St.
Pawcatuck, CT 06379
Tel: 860.629.6500
Fax: 860.599.6090
P.O. Box 513
Westbury, CT 02891
Tel: 401.596.7747
www.cherenzia.com

PLAN REVISIONS

REV. NO.	DATE	DESCRIPTION	DWN BY	CHK BY

SCALE: ---
CA JOB #219099
MAY 4, 2021

DRAWN BY: SETB
CHECK BY: SFC

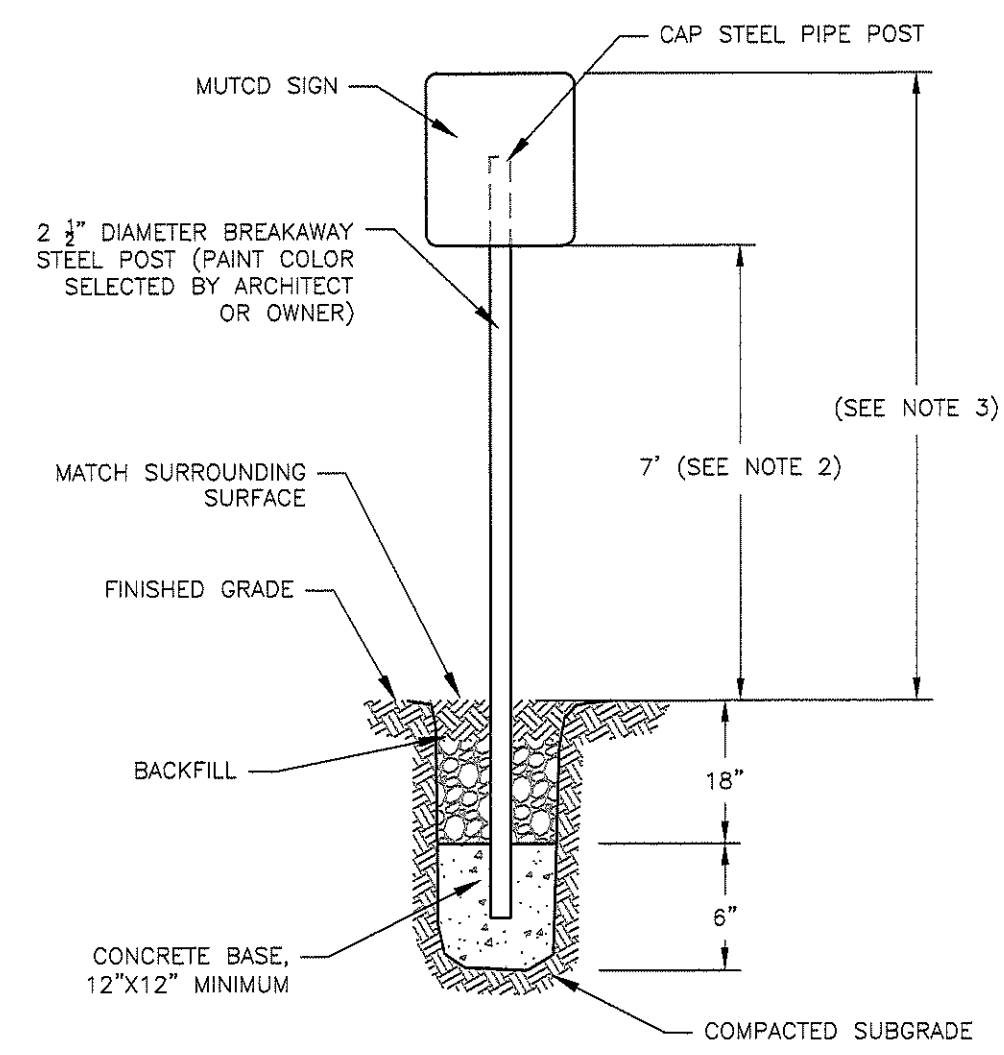
ISSUED FOR PERMITTING

DETAILS SHEET 1

KINGDOM OF THE HAWK
TASTING ROOM
113 PENDLETON HILL ROAD
MAP 122 LOT 2660
NORTH STONINGTON, CONNECTICUT

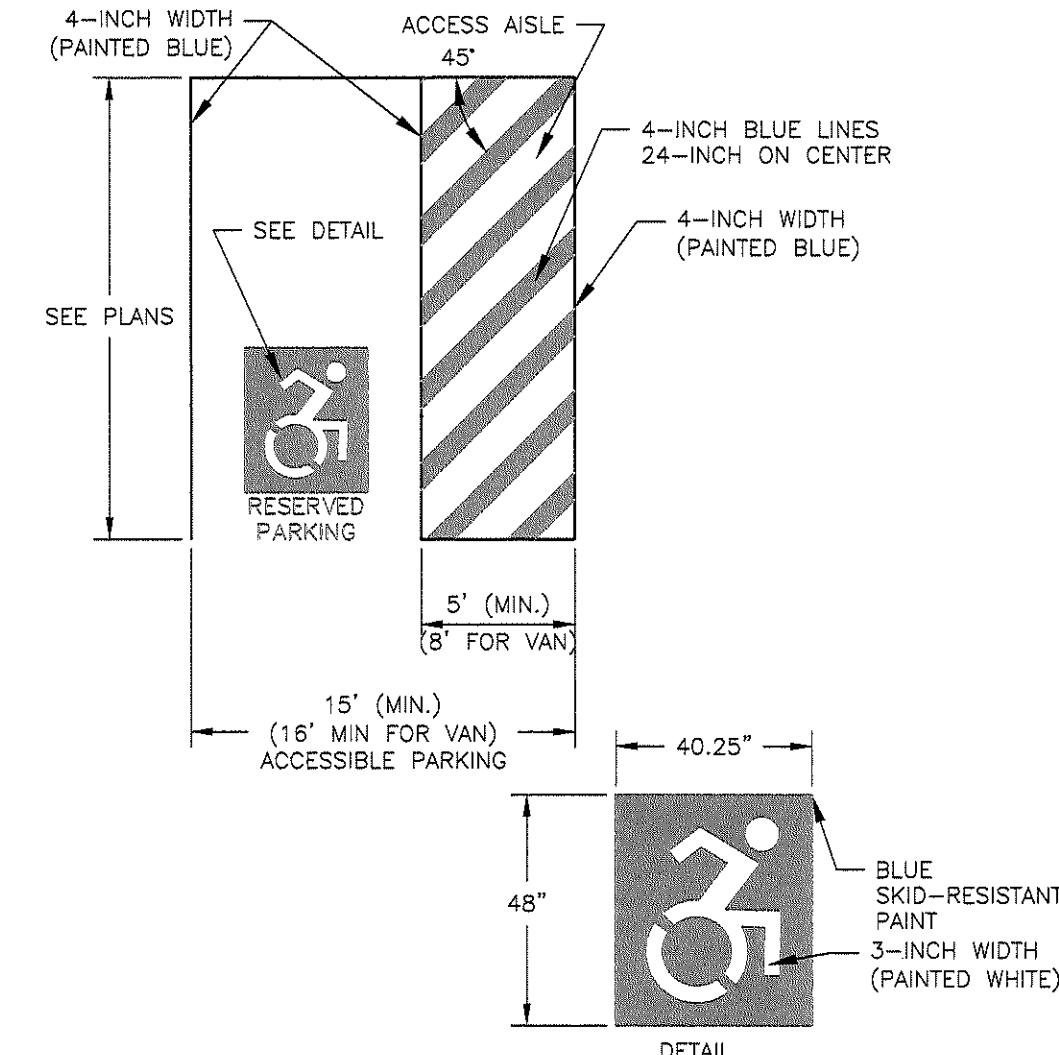
PREPARED FOR
KINGDOM OF THE HAWK, LLC.

C-6



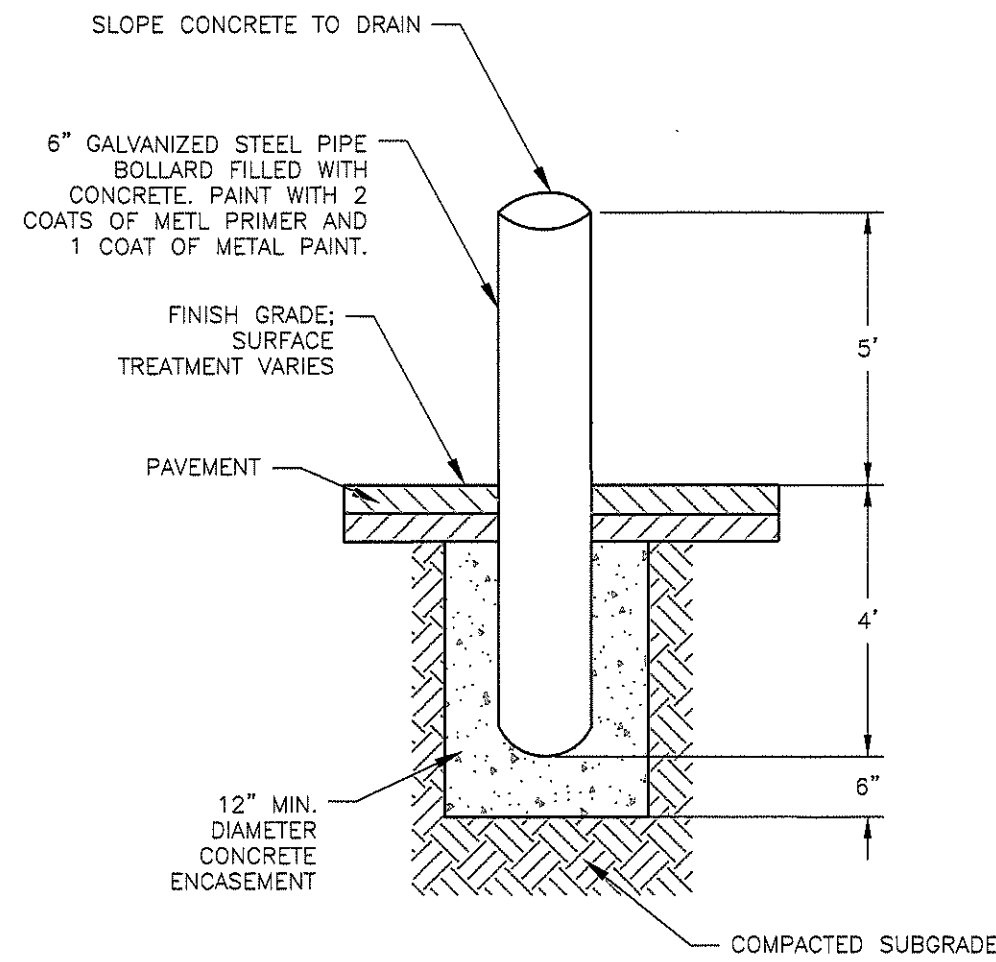
- NOTES:
1. FOR USE IN LANDSCAPE AREAS AND SIDEWALKS ONLY. NOT FOR USE IN PARKING LOTS OR TRAVELED WAYS.
 2. FOR ADA SIGNAGE, THIS DIMENSION SHALL BE 5' (MIN.)
 3. FOR ADA SIGNAGE, THIS DIMENSION SHALL BE 8' (MAX.)

SIGN POST
NTS CA-SS-001

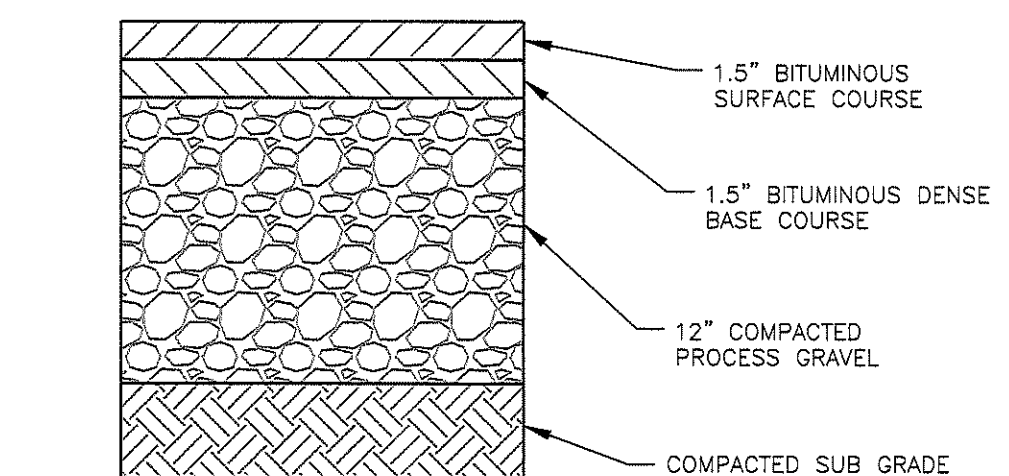


- NOTES:
1. ALL DIMENSIONS MEASURED FROM CENTER TO CENTER OF 4-INCH PAVEMENT STRIPING.
 2. 8-FOOT STALL WIDTH REFERS TO 8-FOOT BETWEEN CENTER LINE OF PAVEMENT MARKINGS.
 3. ALL SLOPES THROUGHOUT THE ACCESSIBLE PARKING AND AISLE AREAS SHALL NOT EXCEED 2%.

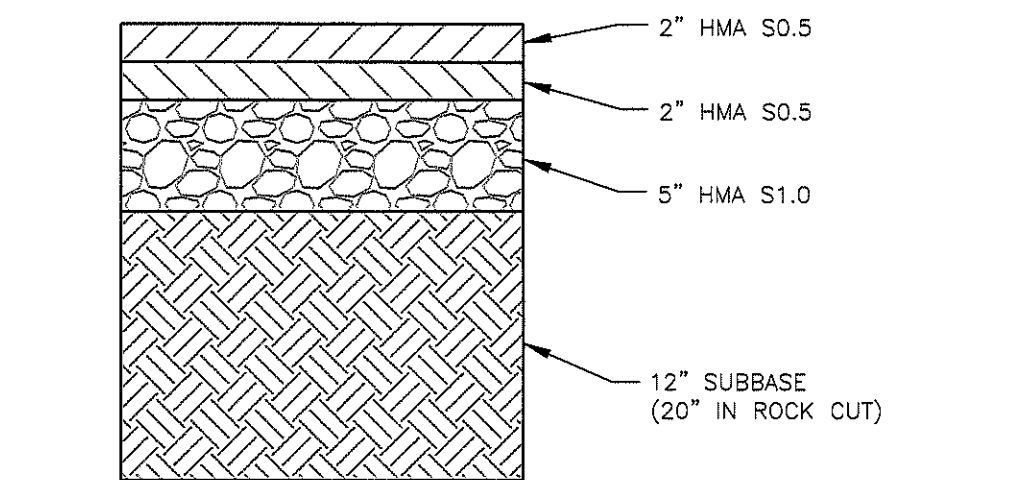
ADA SPACES
NTS CA-SS-004CT



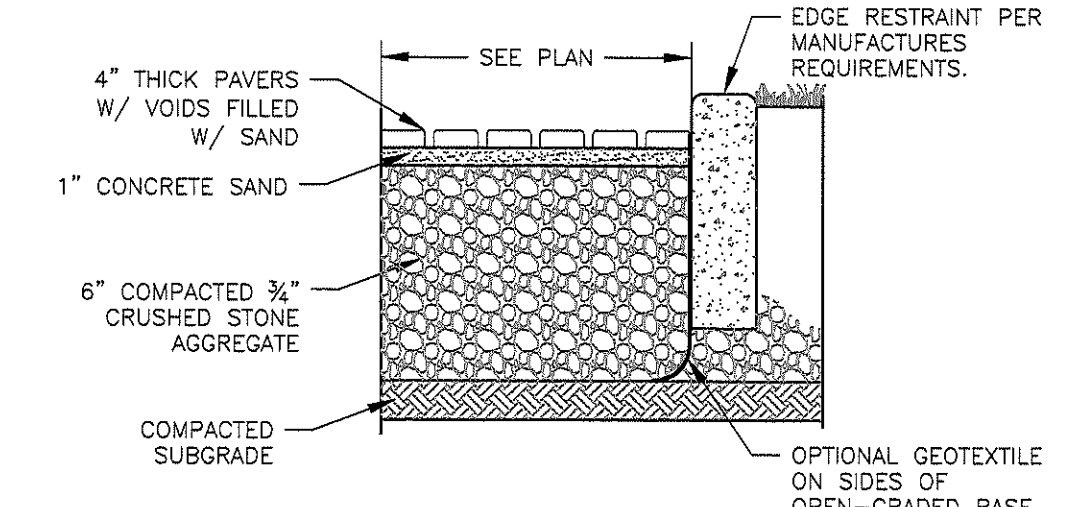
BOLLARD
NTS CA-M-004



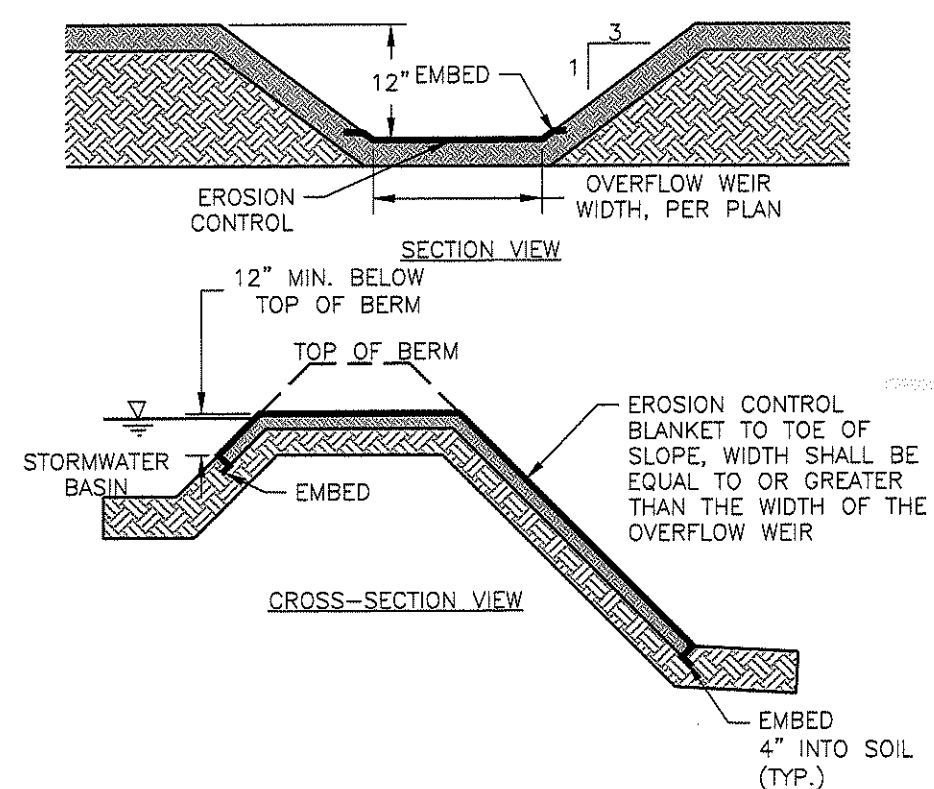
STANDARD DUTY PAVEMENT
NTS CA-RD-001



CTDOT BITUMINOUS PAVEMENT
NTS CA-RD-032

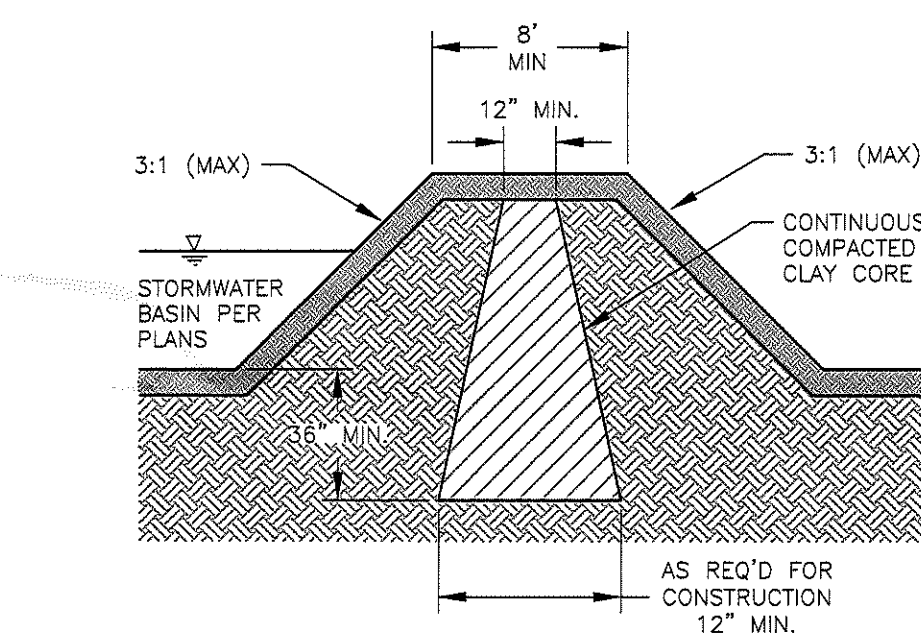


PERVIOUS PAVERS
NTS CA-RD-010

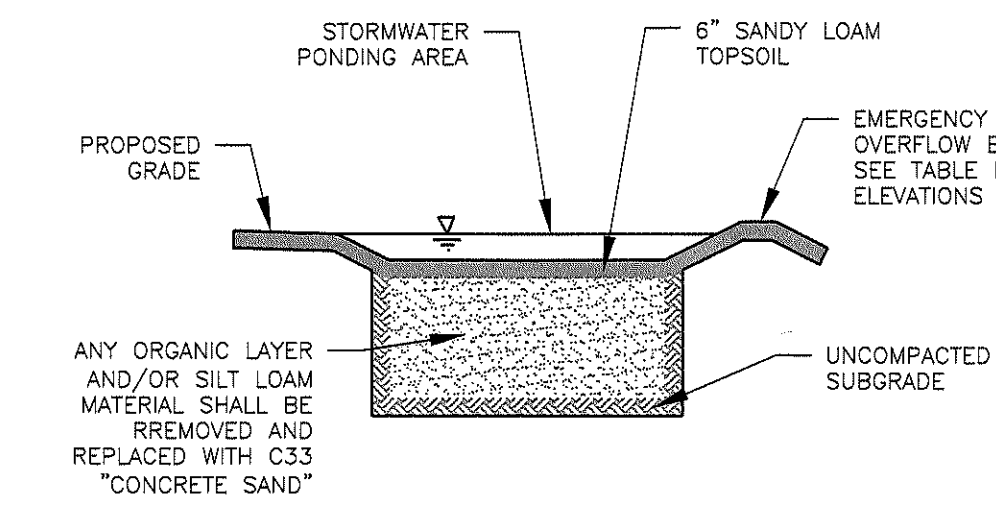


- NOTES:
1. EROSION CONTROL BLANKET SHALL BE NORTH AMERICAN GREEN PRODUCTS P300 OR APPROVED EQUIVALENT.
 2. EROSION CONTROL BLANKET SHALL BE INSTALLED PER MANUFACTURER'S REQUIREMENTS.

EARTHEN EMERGENCY SPILLWAY
NTS CA-D-020B

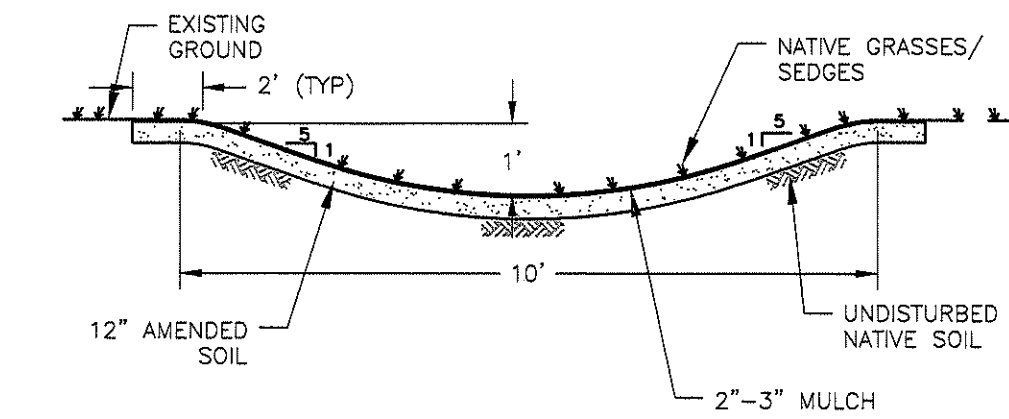


STORMWATER BASIN EMBANKMENT
NTS CA-D-025



- NOTES:
1. TO ENSURE THE LONG-TERM FUNCTION AND VALUE OF AREAS PROPOSED FOR INFILTRATION, INCLUDING INFILTRATION AREAS, THE CONTRACTOR SHALL EXERCISE THE FOLLOWING BEST MANAGEMENT PRACTICES THROUGHOUT CONSTRUCTION:
 2. THESE AREAS SHALL NOT BE USED FOR TEMPORARY CONSTRUCTION SEDIMENTATION CONTROL, SEDIMENTATION BASINS, OR DEWATERING AREAS.
 3. THESE AREAS SHALL REMAIN OFF-LINE UNTIL THE ENTIRE CONSTRUCTION AREA CONTRIBUTING TO THESE AREAS HAS BEEN STABILIZED WITH BUILDINGS, BUILDING FOUNDATIONS, PAVEMENT, OR VEGETATION, AS APPLICABLE.
 4. STORMWATER RUNOFF DURING CONSTRUCTION SHALL BE DIRECTED AWAY FROM THESE AREAS TO THE GREATEST EXTENT PRACTICABLE. WHERE NOT FEASIBLE, THE CONTRACTOR SHALL INSTALL ADDITIONAL EROSION CONTROLS UP-GRADE OF THESE AREAS TO PREVENT SEDIMENTATION OF THESE AREAS DURING CONSTRUCTION.
 5. THE SUBGRADE BELOW THESE AREAS SHALL NOT BE COMPACTED; THEREFORE, THE CONTRACTOR SHALL RESTRICT ACCESS TO THESE AREAS BY HEAVY EQUIPMENT AND SHALL NOT USE THESE AREAS FOR MATERIALS STOCKPILES.
 6. EXCAVATION AND CONSTRUCTION OF THESE AREAS SHALL BE PERFORMED USING HAND OR HYDRAULIC EQUIPMENT TO ENSURE THAT THE NATURAL FILTRATION EARTH MATERIAL IS NOT DISTURBED OR OTHERWISE COMPACTED.
 7. UPON COMPLETION OF CONSTRUCTION OF ANY OF THESE AREAS, THE CONTRACTOR SHALL INSTALL EROSION CONTROL MEASURES TO PREVENT SILTATION OF THE FILTER MATERIALS.

INFILTRATION AREA
NTS CA-D-012



GRASSED SWALE
NTS CA-D-026

SEEDING GUIDELINES
FINAL STABILIZATION OF ALL DISTURBED AREAS, UNLESS OTHERWISE NOTED, SHALL BE LOAMED AND SEEDING. LOAM SHALL BE PLACED AT A MINIMUM COMPACTED DEPTH OF 4 INCHES. TEMPORARY VEGETATIVE MEASURES SHALL CONSIST OF AN ANNUAL OR PERENNIAL RYE GRASS WITH RECOMMENDED SEEDING DATES BEING FROM MARCH 1 THROUGH JUNE 30 AND/OR AUGUST 1 THROUGH OCTOBER 15.

SEED BED PREPARATION
PROPOSED COVER MATERIAL SHOULD BE SPREAD EVENLY OVER THE ENTIRE SITE IN A MINIMUM 4-INCH LIFT VIA BULLDOZER/BUCKET LOADER. THE SEED BED SHOULD BE SMOOTH AND FIRM PRIOR TO SEEDING. THE FOLLOWING SEED MIXTURES SHOULD BE USED AS NOTED.

SEED MIXTURE

SPECIES/VARIETY	LBS./ACRE
CREEPING RED FESCUE	20
KENTUCKY BLUEGRASS	20
PERENNIAL RYEGRASS	5

SEED TIME AND METHOD
THE PREFERRED TIME FOR SEEDING THE COOL SEASON MIXTURE IS LATE SUMMER. SOIL AND AIR TEMPERATURES ARE IDEAL FOR SEED GERMINATION AND SEEDLING GROWTH. WEED COMPETITION IS REDUCED BECAUSE SEEDS OF MANY WEED SPECIES GERMINATE EARLIER IN THE GROWING SEASON. ADDITIONALLY, HERBICIDE USE IS GREATLY REDUCED. HOWEVER, SEEDING MAY BE DONE AT ANY OF THE ABOVE NOTED TIMES.

MULCHING
NEWLY SEEDING AREAS SHOULD BE MULCHED TO INSURE ADEQUATE MOISTURE FOR SUCCESSFUL TURF ESTABLISHMENT AND TO PROTECT AGAINST SURFACE MOVEMENT OF SEDIMENT-BOUND ARGOCHEMICALS AND SOIL EROSION. APPLY GOOD QUALITY STRAW OR HAY AT A RATE OF 2 BALES/1000 SQ. FT. OTHER COMMERCIALY AVAILABLE MULCHES CAN BE USED.

PLAN REVISIONS

REV. NO.	DATE	DESCRIPTION	DWN BY	CHK BY

SCALE: N.T.S.
CA JOB #219099
MAY 4, 2021

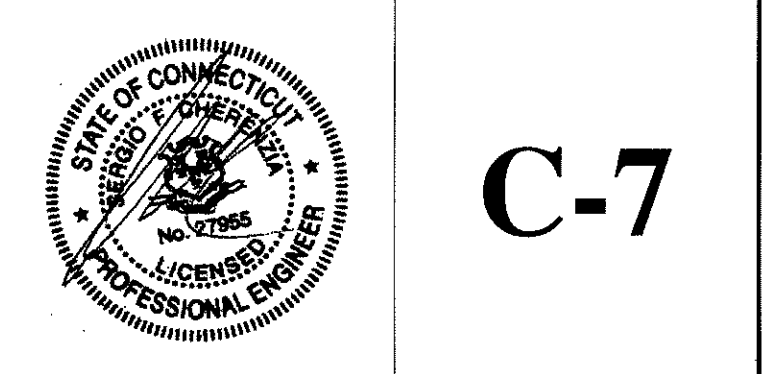
DRAWN BY: SETB
CHECK BY: SFC

ISSUED FOR PERMITTING

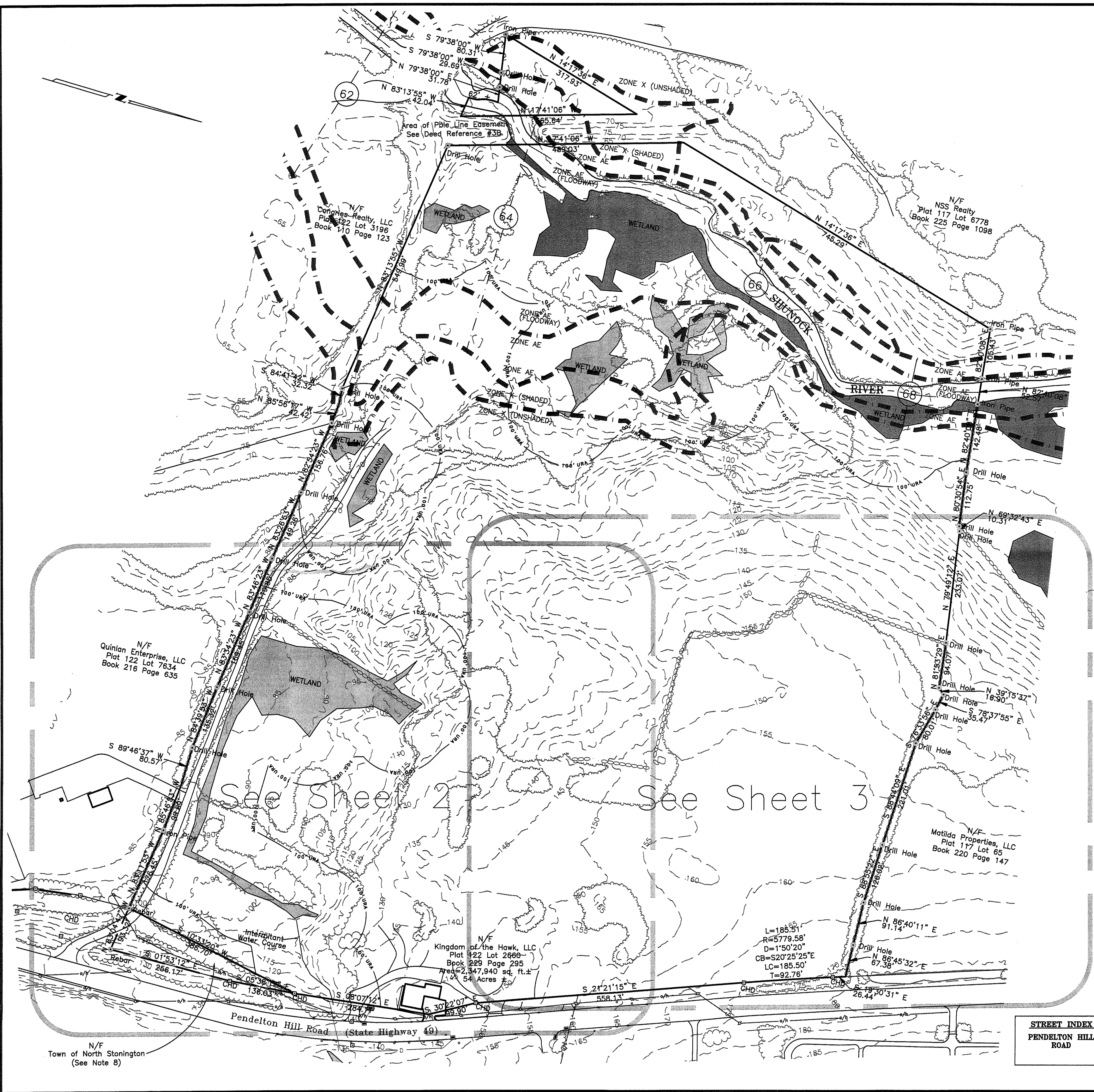
DETAILS SHEET 2

KINGDOM OF THE HAWK TASTING ROOM
113 PENDLETON HILL ROAD
MAP 122 LOT 2660
NORTH STONINGTON, CONNECTICUT

PREPARED FOR
KINGDOM OF THE HAWK, LLC.



C-7



- LEGEND**
- 105 --- Major Contours - 5' Intervals
 - 106 --- Minor Contours - 1' Intervals (sheets 2 & 3)
 - Stone wall
 - o Existing Storm Drain
 - Guard Rail
 - 100' URA --- Wetland 100' Upland Review Area
 - FEMA Flood Hazard Line
 - Monument found as noted
 - ▣ CHD Bound (Connecticut Highway Department)
 - ▲ Wetland Flag
 - N/F Now or Formerly
 - 66 ○ Flood Study Transect Line

DISTRICT DIMENSIONAL REGULATIONS

District	EDD
Use	Economic Development
Min. Lot Size	200,000 sq. ft.
Min. Lot Frontage	200 feet
Impervious Coverage %	70%
Max. Hgt. Prin. Bldg.	50 Feet
Max. Hgt. Access. Bldg.	N/A
Min. Front Yard Depth	35 feet
Min. Side Yard Depth	20 feet
Min. Rear Yard Depth	20 feet
Min Access. Bldg Side	N/A
Min. Access. Bldg. Rear	N/A

- NOTES:**
- This plan has been prepared pursuant to the regulations of Connecticut State Agencies, Sections 20-300b-1 through 20-300b-20, as revised.
Type of Survey: Boundary Survey
Boundary Determination Category: Resurvey based upon plans referenced in note #2A.
Classes of Accuracy: A-2 Horizontal; T-2 & T-D Vertical
 - Reference is hereby made to the following plans:
A.) Property Survey Prepared for Great Wolf Resorts, Inc. Property of James P. Crider & Gloria M. Crider 113 Pendleton Hill Road Lot ID 2741-76-2660 North Stonington, Connecticut Scale: 1"=100' December 15, 2006 Cherenzia & Associates, LTD.
B.) Town of North Stonington Map Showing Land Acquired From Joseph P. Crider Jr. Et Al The State of Connecticut - Route 49 Scale: 1"=40' February 1962 Highway Commissioner: Howard S. Ives
 - Reference is hereby made to the following Deeds:
A.) A Statutory Form Warranty Deed from James P. Crider to Kingdom of the Hawk, LLC. Recorded in the Town of North Stonington Land Evidence Records under Book 229 Page 295 on February 22, 2019.
B.) A Quit Claim Deed from the Shore Line Electric Railway Company, granted to the Eastern Connecticut Power Company recorded April 21, 1920.
 - The bearings and north arrow orientation depicted hereon are based upon the Connecticut State Plane Coordinate system of 1983.
 - Elevations depicted hereon are based on the NAVD-88 Vertical Datum. Spot grades are based on a field survey performed January 6, 2020, contours shown are based on the 2016 Connecticut LIDAR data set.
 - The Flood Zone Information depicted hereon as mapped is from "FIRM" Flood Insurance Rate Map, Town of North Stonington, Connecticut, New London County, Panel #: 09011C04116 effective 7/18/2011. Parcel lies partially within Special Flood Hazard Zone AE, and Flood Hazard Zones X and Unshaded X.
 - The wetlands depicted hereon were delineated by Kleinfelder Windsor, CT and field survey located November, 2006 by Cherenzia & Associates, LTD.
 - A portion of the old highway was to be Quit Claimed to The Town of North Stonington circa 1962. See Warrantee Deed recorded in the Town of North Stonington Land Evidence Records at Book 31, Page 154. No documents were found showing that this portion of land was Quit Claimed to the subject parcel.

To the best of my knowledge and belief this map is substantially correct as noted hereon.

ma
Mark A. Castellanos, P.L.S. #70459

CHERENZIA & ASSOCIATES, P.C.
99 Mechanic St. P.O. Box 401
Pawcatuck, CT 06379
Tel: 860.629.6500
Fax: 860.599.6090
Wethersfield, CT 06094
Tel: 860.421.1111
www.cherenzia.com

Civil Engineers
Land Surveyors
Land Use Planners
Environmental Engineers

LOCATION MAP

PLAN REVISIONS	
NO.	DESCRIPTION

SCALE: 1"=100'
CA JOB # 219099
JANUARY 22, 2020

DRAWN BY: T
CHECK BY: M

COMPREHENSIVE BOUNDARY & TOPOGRAPHIC SURVEY

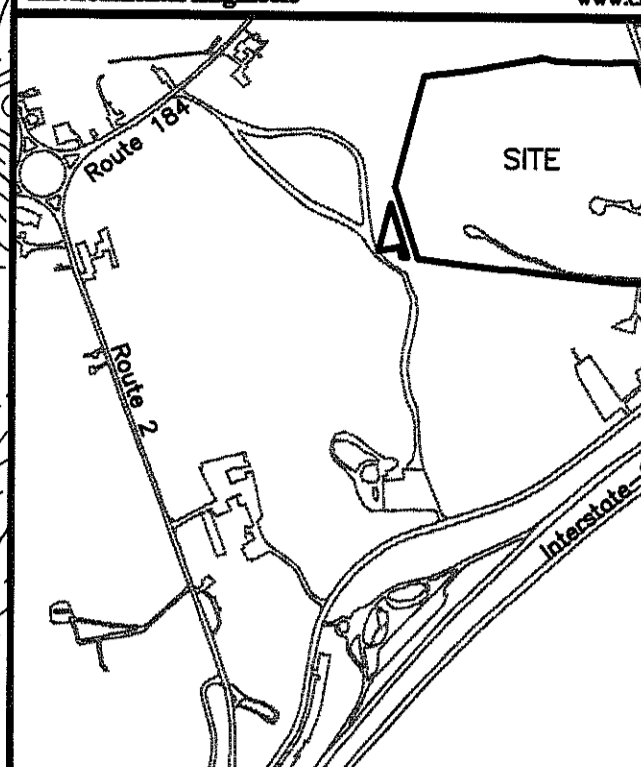
OVERALL BOUNDARY

**113 PENDELTON HILL ROAD
NORTH STONINGTON, CONNECTICUT
PLAT 122 LOT 2660**

PREPARED FOR
KINGDOM OF THE HAWK,

Sheet 1
CHERENZIA & ASSOCIATES

STREET INDEX
PENDELTON HILL ROAD



LOCATION MAP

See Sheet 1 for Legend & Notes



PLAN REVISIONS

NO.	DESCRIPTION	DATE

SCALE: 1"=40'
 CA JOB # 219099
 JANUARY 22, 2020

DRAWN BY: TW
 CHECK BY: MA

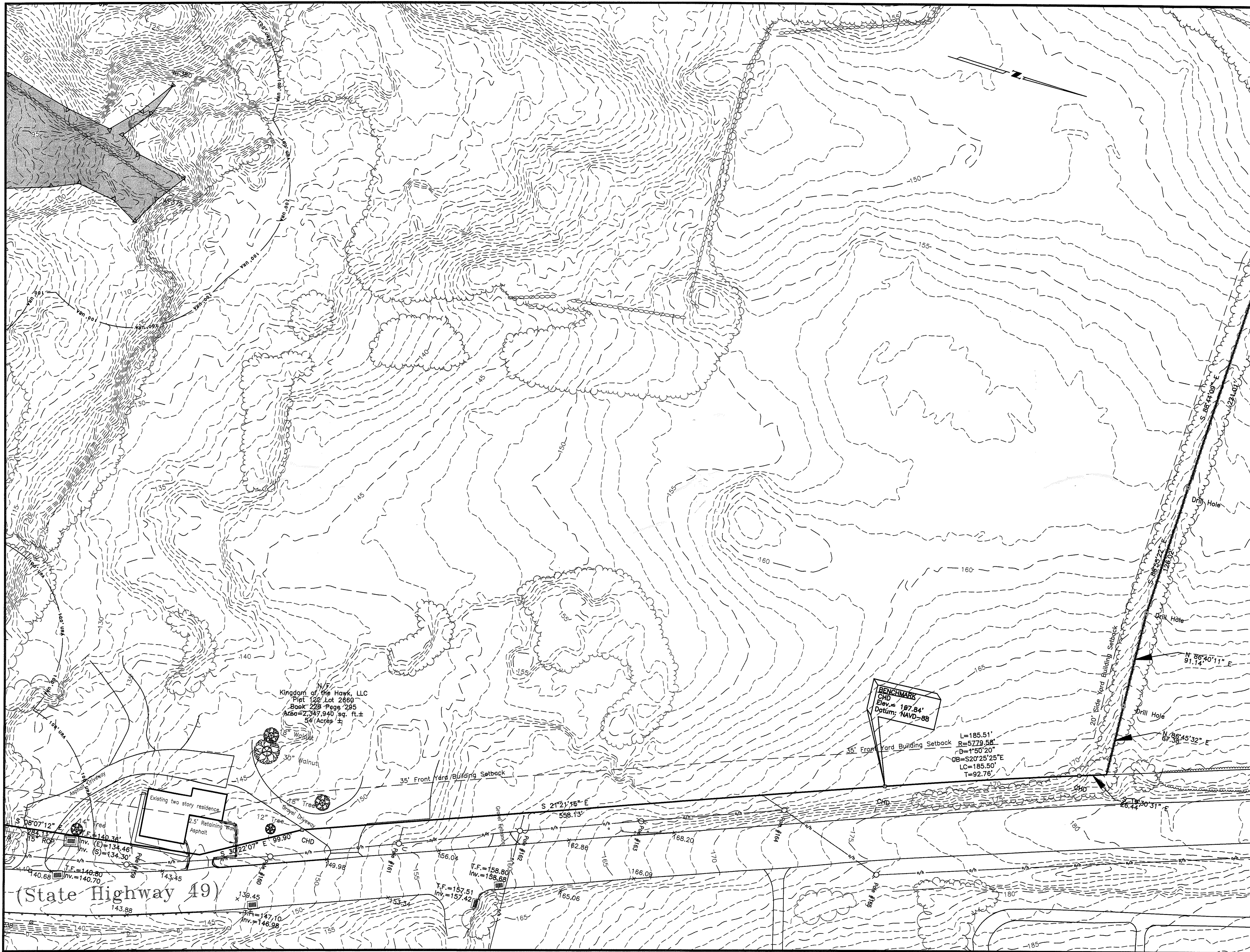
COMPREHENSIVE BOUNDARY & TOPOGRAPHIC SURVEY

EXISTING CONDITIONS

**113 PENDELTON HILL ROAD
 NORTH STONINGTON, CONNECTICUT
 PLAT 122 LOT 2660**

PREPARED FOR
KINGDOM OF THE HAWK, L.L.C.

Sheet 2 of 2
CHERENZIA & ASSOCIATES, P.C.



LOCATION MAP

See Sheet 1 for Legend & Notes

PLAN REVISIONS

NO.	DESCRIPTION

SCALE: 1"=40'
 CA JOB # 219099
 JANUARY 21, 2020

COMPREHENSIVE BOUNDARY & TOPOGRAPHIC SURVEY

EXISTING CONDITIONS

113 PENDELTON HILL ROAD
 NORTH STONINGTON, CONNECTICUT
 PLAT 122 LOT 2660

PREPARED FOR
KINGDOM OF THE HAWK,

Sheet 3 of 3
CHERENZ & ASSOCIATES,