

SITE PERMIT PLAN: PROPOSED CHURCH BUILDING ADDITION

MBL 115/0343
100C JEREMY HILL ROAD
TOWN OF NORTH STONINGTON
NEW LONDON COUNTY CONNECTICUT
R-60 Medium Density Residential Zoning District

FEBRUARY 2022

Owner Of Record / Applicant:
NORTH STONINGTON BIBLE CHURCH INC.
 PO Box 28
 North Stonington, Connecticut 06359
 Tel. 860.812.8266

Site Engineer Of Record:
Edward H. Wenke III, PE
 Civil/Structural Engineer
 P.O. Box 544
 Mukwonago, WI 53149
 Tel. 860.460.1606

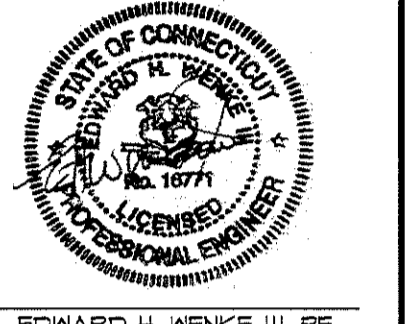
Architect:
David Atkinson Architect LLC
 1184 River Road
 Mystic, CT 06355
 Tel. 860.334-5643

Land Surveyor Of Record:
J Dempsey Associates LLC
 76 Brainard Street
 New London, CT 06320
 Tel. 860.447.8434

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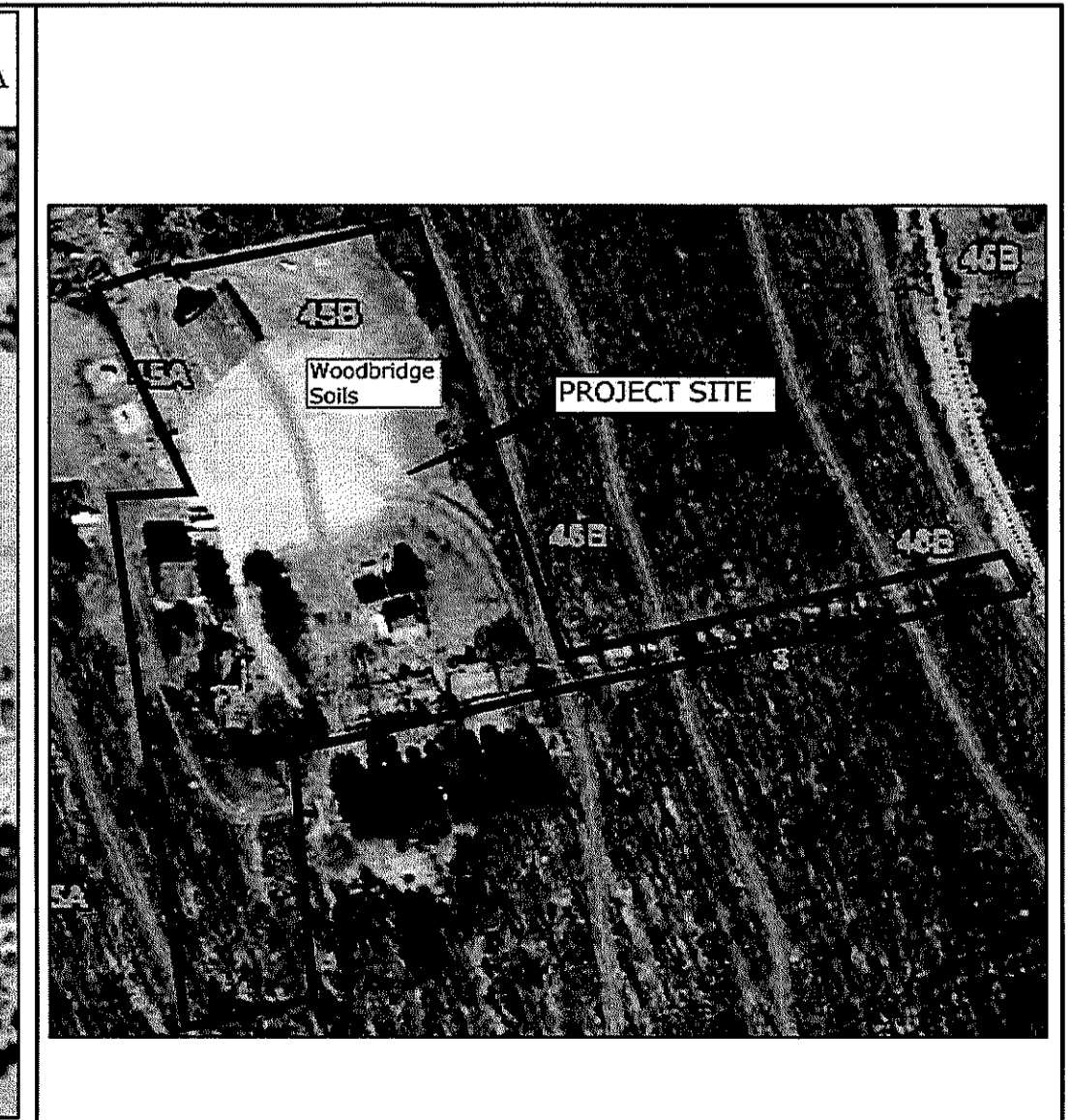
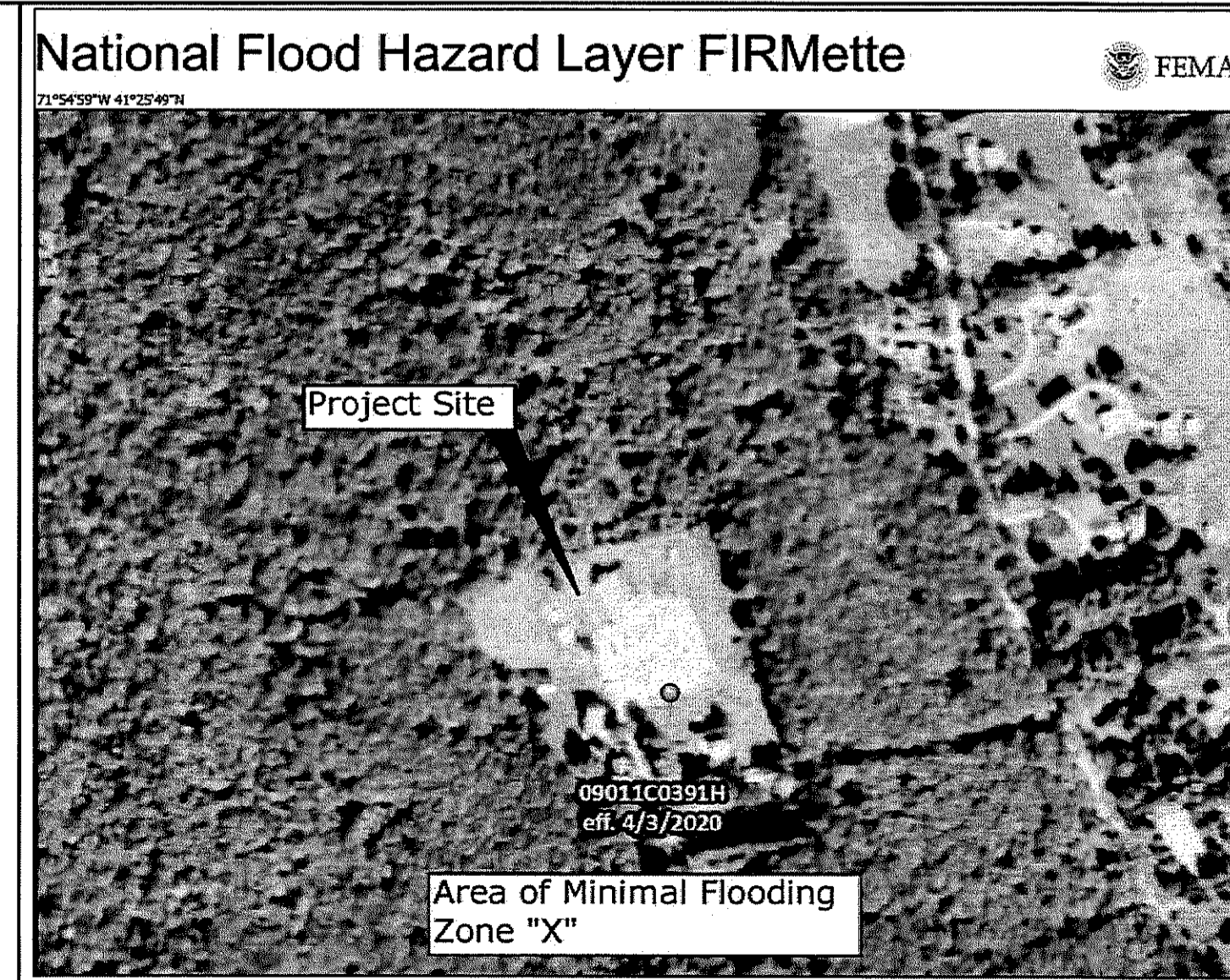
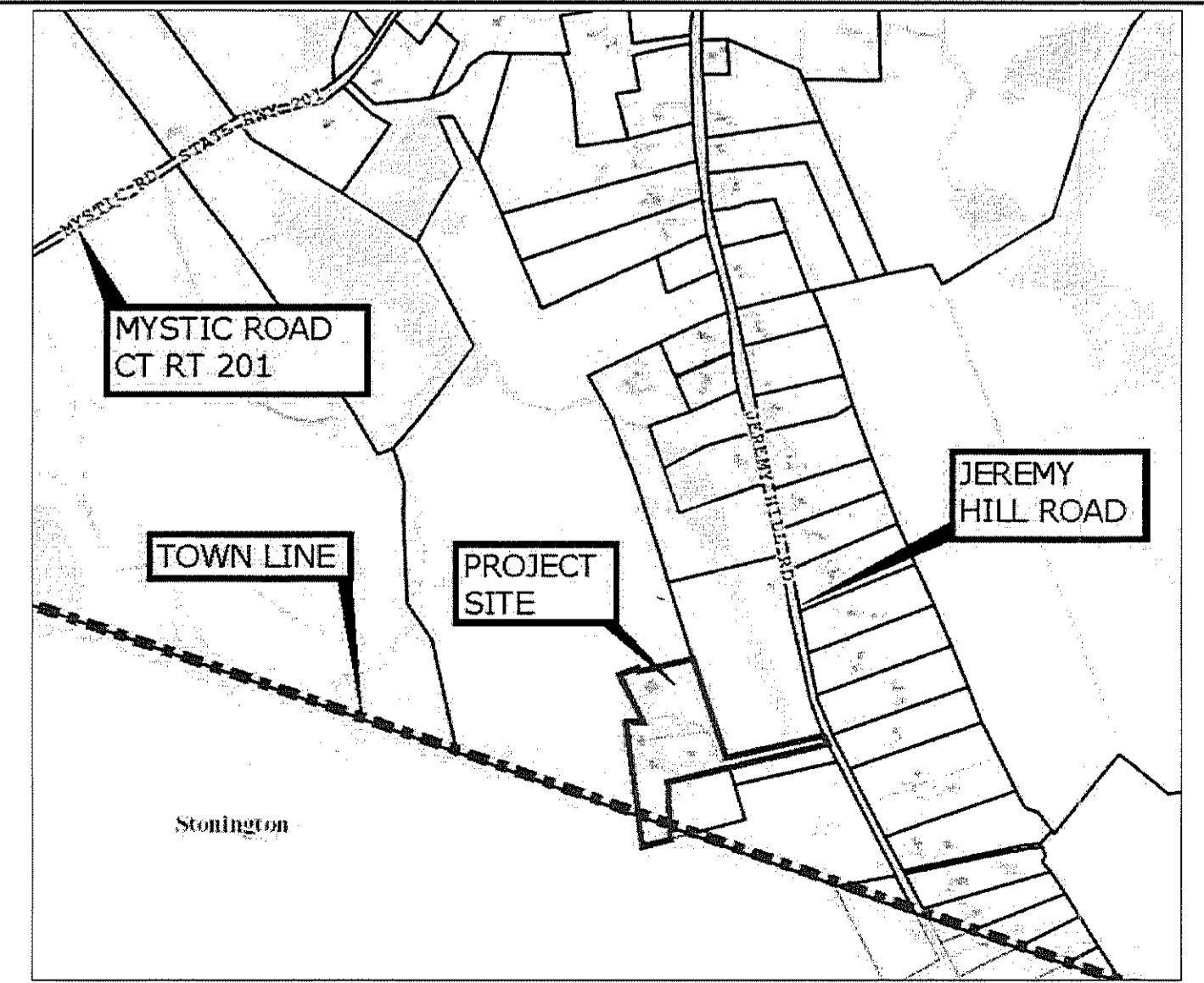
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REVISIONS		
LTR	DESCRIPTION	DATE
A	ISSUE FOR SITE PERMIT	02.25.22

TITLE SHEET
PROPOSED CHURCH BUILDING ADDITION
 PREPARED FOR
NORTH STONINGTON BIBLE CHURCH INC.
 FOR PROPERTY LOCATED AT
100C JEREMY HILL ROAD - MBL 115/0343 - ZONE R-60
TOWN OF NORTH STONINGTON - NEW LONDON COUNTY - CONNECTICUT

Dwg. No. **C-01**
 SHEET 1 OF 16
 Scale: **AS SHOWN**
 Date: **FEBRUARY 2022**
 Project No. **211035**

CALL TOLL FREE FOR CONNECTICUT
 1-800-922-4455 OR DIAL 811
CALL TWO FULL WORKING DAYS IN ADVANCE TO LOCATE BURIED UTILITY PIPES & CABLES

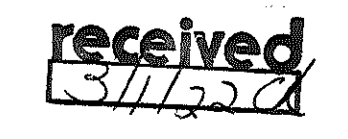


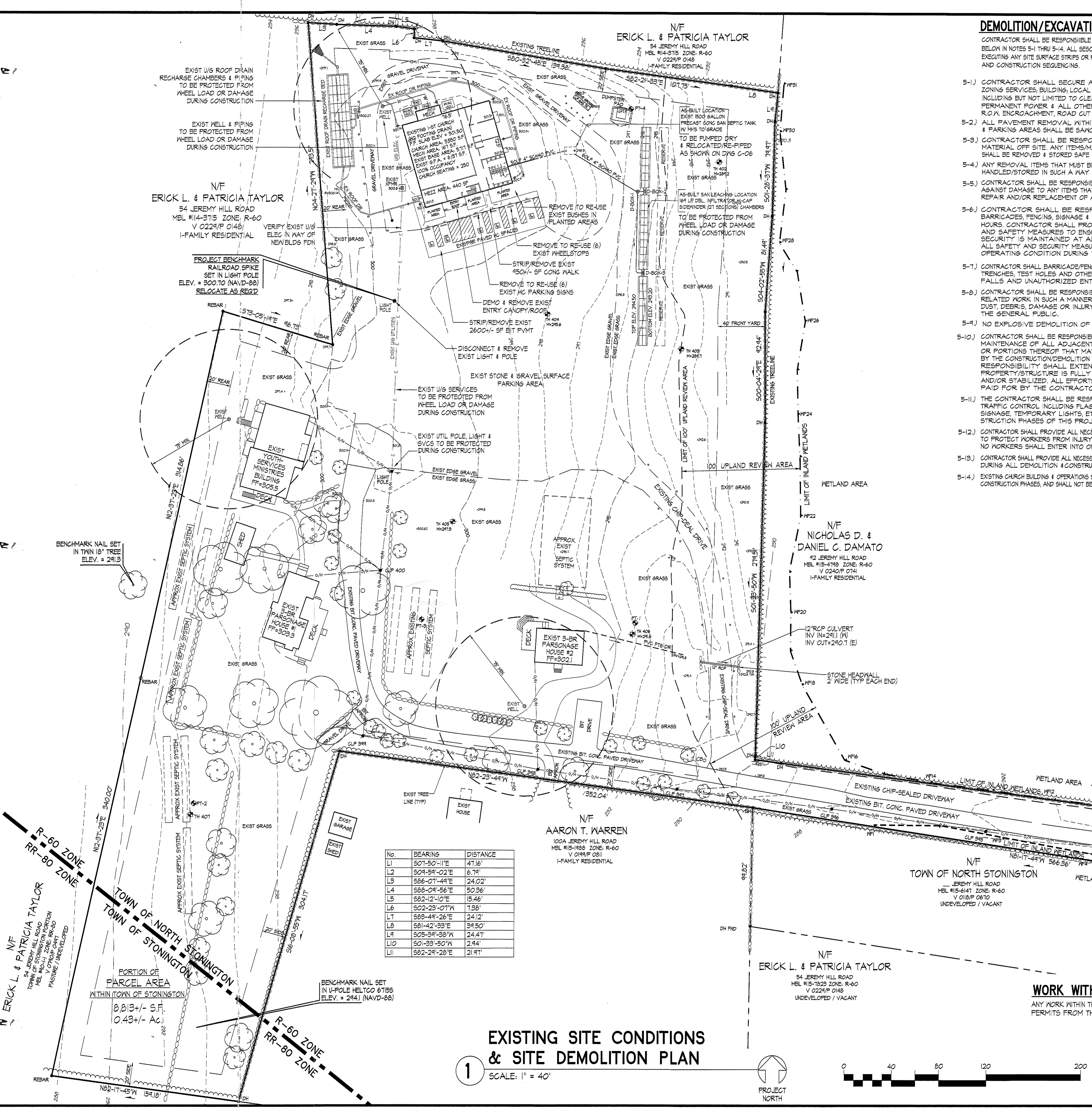
SYMBOL LEGEND		ABBREVIATIONS	
EXISTING	PROPOSED	EXISTING	PROPOSED
—	—	APPROX	APPROXIMATE
—	—	AVG	AVERAGE
—	—	APPVD	APPROVED
—	—	B.C.	BITUMINOUS CONCRETE LIP CURB
—	—	B.F.	BOTTOM FOOTING
—	—	BT	BITUMINOUS
—	—	B.L.D.C.	BUILDING
—	—	CATV	CABLE TELEVISION
—	—	CB	CATCH BASIN
—	—	C.I.P.	CAST IRON PIPE
—	—	CL	CLASS
—	—	CMP	CORRUGATED METAL PIPE
—	—	CONC.	CONCRETE
—	—	C.O.	CLEAN-OUT
—	—	CY	CUBIC YARD
—	—	D.H.	DRILL HOLE
—	—	DK	DECK
—	—	DMH	DRAIN MANHOLE
—	—	ELEC.	ELECTRIC
—	—	ELEV./EL	ELEVATION
—	—	E.O.P.	EDGE OF PAVEMENT
—	—	EX. EXC., EXIST.	EXISTING
—	—	ENCL.	ENCLOSURE
—	—	FF	FRESH FLOOR
—	—	FT	FOOT
—	—	G	GAS
—	—	G.F.A.	GROSS FLOOR AREA
—	—	GR	GRADE
—	—	H	HIGH
—	—	H.C.	HANDICAP
—	—	H.C.	HOUSE CONNECTION
—	—	HP	HIGH PRESSURE
—	—	HVAC	HEATING, VENTILATION, AIR CONDITIONING
—	—	HYD.	HYDRANT
—	—	ILL.A	INTERIOR LOT AREA
—	—	INT	INTERIOR
—	—	INV	INVERT
—	—	IP	IRON PIN
—	—	LF	LINEAR
—	—	LP	LIGHT POLE
—	—	LT	LEFT
—	—	M.H.	MANHOLE
—	—	MIN.	MINIMUM
—	—	M.O.	MASONRY OPENING
—	—	MON	MONUMENT
—	—	MS	NECKSTONE
—	—	N/F	NOW OR FORMERLY
—	—	O.C.	ON CENTER
—	—	O/H/W	OVERHEAD WIRE
—	—	PC	POINT OF CURVATURE
—	—	PI	POINT OF INTERSECTION
—	—	PROP.	PROPOSED
—	—	PSF	POUNDS PER SQUARE FOOT
—	—	PSI	POUNDS PER SQUARE INCH
—	—	PT	POINT OF TANGENCY
—	—	PVC	POLYVINYL CHLORIDE PIPE
—	—	P/MT	PAVEMENT
—	—	R	RADIUS
—	—	R.C.P.	REINFORCED CONCRETE PIPE
—	—	R.D.	ROOF DRAIN
—	—	REF	REFERENCE
—	—	REQ'D	REQUIRED
—	—	R/W	RIGHT OF WAY
—	—	RR	RAILROAD
—	—	RET	RETAINING
—	—	S	SIGN
—	—	S/S	SLOPE
—	—	SF	SQUARE FEET
—	—	SMH	SANITARY MANHOLE
—	—	ST	STORM
—	—	STA	STATION
—	—	SY	SQUARE YARD
—	—	SYD(S)	SERVICES
—	—	TBS	TO BE SET
—	—	T.E.N.	TO BE VERIFIED
—	—	TEL	TELEPHONE
—	—	TF	TOP OF FRAME
—	—	THK	THICK
—	—	THP	TYPICAL
—	—	U.S.T.	UNDERGROUND STORAGE TANK
—	—	U.P.	UTILITY POLE
—	—	U/G	UNDERGROUND
—	—	WG	WATER GATE
—	—	W	WATER
—	—	XFRMR	TRANSFORMER

LOCATION MAP Latitude: 41.4267 Longitude: -71.9111
 SCALE: NONE - SOURCE: TOWN OF NORTH STONINGTON GIS DATABASE

FEMA FLOOD MAP
 SCALE: NONE - SOURCE: FEMA FIRM CMP# 09011C0391H - 04/03/2020

SOIL MAP
 SCALE: NONE - SOURCE: NRCS/USGA SOIL SURVEY





DEMOLITION/EXCAVATION & MOBILIZATION NOTES

- CONTRACTOR SHALL BE RESPONSIBLE FOR PERFORMING ALL OF THE WORK DESCRIBED BELOW IN NOTES 5-1 THRU 5-14. ALL SECC FENCES/BARRIERS SHALL BE INSTALLED PRIOR TO EXECUTING ANY SITE SURFACE STRIPS OR REMOVALS. SEE DWS C-04 FOR SECC SPECIFICATIONS AND CONSTRUCTION SEQUENCING.
- CONTRACTOR SHALL SECURE ALL NECESSARY OFFICE OF PLANNING & ZONING SERVICES, BUILDING, LOCAL AGENCIES & STATE PERMITS AS APPLICABLE INCLUDING BUT NOT LIMITED TO CLEARING, DEMOLITION, SITEWORK, TEMPORARY & PERMANENT POWER & ALL OTHER UTILITY SERVICES, SIDEWALK, CLOSURE, ROAD ENCROACHMENT, ROAD CUT AND ANY OTHER PERMIT THAT MAY APPLY.
 - ALL PAVEMENT REMOVAL WITHIN THE TRAVELLED PORTIONS OF ROADS & PARKING AREAS SHALL BE SAWCUT SMOOTH WITH TRUE STRAIGHT ALIGNMENT.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF ALL SURPLUS MATERIAL OFF SITE. ANY ITEMS/MATERIAL TO BE SAVED FOR FUTURE RE-USE SHALL BE REMOVED & STORED SAFE & SECURELY OFF-SITE. PROTECT FROM DAMAGE.
 - ANY REMOVAL ITEMS THAT MUST BE SAVED FOR RE-USE SHALL BE REMOVED & HANDLED/STORED IN SUCH A MANNER THAT DAMAGE TO THE ITEM IS MINIMIZED.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ADEQUATE PROTECTION AGAINST DAMAGE TO ANY ITEMS THAT ARE TO REMAIN AND SHALL BE RESPONSIBLE FOR REPAIR AND/OR REPLACEMENT OF ANY ITEMS THAT ARE TO REMAIN/RE-USED.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING ADEQUATE BARRICADES, FENCING, SIGNAGE & SITE SECURITY DURING AND AFTER WORKING HOURS. CONTRACTOR SHALL PROVIDE AND INSTALL ADDITIONAL SECURITY AND SAFETY MEASURES TO ENSURE THAT PUBLIC SAFETY AND PROJECT SECURITY IS MAINTAINED AT ALL TIMES DURING THE ENTIRE PROJECT. ALL SAFETY AND SECURITY MEASURES SHALL BE MAINTAINED IN ACCEPTABLE OPERATING CONDITION DURING THE ENTIRE DURATION OF THE PROJECT.
 - CONTRACTOR SHALL BARRICADE/ENCE AND APPROPRIATELY SIGN ALL EXCAVATED TRENCHES, TEST HOLES AND OTHER EXCAVATIONS TO PREVENT ACCIDENTAL FALLS AND UNAUTHORIZED ENTRY DURING THE CONSTRUCTION PHASE.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR PERFORMING ALL DEMOLITION AND RELATED WORK IN SUCH A MANNER SO THAT NO UNREASONABLE DISTURBANCE, DUST, DEBRIS, DAMAGE OR INJURY OCCURS TO ADJACENT PROPERTIES OR THE GENERAL PUBLIC.
 - NO EXPLOSIVE DEMOLITION OF ROCK IS PROPOSED FOR THIS PROJECT.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING, RESTORING AND GENERAL MAINTENANCE OF ALL ADJACENT AND ABUTTING PROPERTIES, STRUCTURES OR PORTIONS THEREOF THAT MAY BE DAMAGED OR OTHERWISE AFFECTED BY THE CONSTRUCTION/DEMOLITION ACTIVITIES ON THIS PROJECT. CONTRACTOR'S RESPONSIBILITY SHALL EXTEND TO AT LEAST THE POINT WHERE THE PROPERTY/STRUCTURE IS FULLY RESTORED, REPLACED OR ESTABLISHED AND/OR STABILIZED. ALL EFFORTS, MATERIALS AND INSTALLATION SHALL BE PAID FOR BY THE CONTRACTOR.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL NECESSARY TRAFFIC CONTROL INCLUDING FLAGPERSONS, BARRIERS, FENCING, BARRICADES, SIGNAGE, TEMPORARY LIGHTS, ETC. DURING THE DEMOLITION AND/OR CONSTRUCTION PHASES OF THIS PROJECT.
 - CONTRACTOR SHALL PROVIDE ALL NECESSARY EXCAVATION SHORING, TRENCH BOXING, ETC. TO PROTECT WORKERS FROM INJURY AND ANY ADJACENT UTILITIES FROM DAMAGE. NO WORKERS SHALL ENTER INTO OR WORK WITHIN UNPROTECTED EXCAVATIONS.
 - CONTRACTOR SHALL PROVIDE ALL NECESSARY MEASURES/METHODS FOR DUST CONTROL ON-SITE DURING ALL DEMOLITION & CONSTRUCTION PHASES.
 - EXISTING CHURCH BUILDING OPERATIONS SHALL BE TEMPORARILY CEASED DURING DEMOLITION & CONSTRUCTION PHASES, AND SHALL NOT BE RE-ESTABLISHED UNTIL FINAL BUILDING C.O. IS ISSUED.

GENERAL NOTES

- REFERENCE IS MADE TO THE PLAN TITLED: "PROPERTY/BOUNDARY SURVEY OF 100B JEREMY HILL ROAD NORTH STONINGTON, CONNECTICUT PREPARED FOR NORTH STONINGTON BIBLE CHURCH DATE: 2/24/2004 REV 10/01/04 SCALE: 1"=50'; SHEET 1 OF 1; PROJECT #04-02-05; PREPARED & CERTIFIED SUBSTANTIALLY CORRECT BY JEROME J. DEMPSEY C.T.S. #1014; J. DEMPSEY ASSOCIATES LLC, 76 BRAINARD STREET, NEW LONDON CT 06220; TEL: 860-447-8434.
- THIS SITE IS LOCATED WITHIN THE "R-60 MEDIUM DENSITY RESIDENTIAL" ZONING DISTRICT OF THE TOWN OF NORTH STONINGTON, CONNECTICUT, NEW LONDON COUNTY.
- THIS SITE IS IDENTIFIED AS PARCEL MBL 115/0343 ON THE TOWN OF NORTH STONINGTON TAX ASSESSOR'S RECORDS.
- THE GROSS AREA OF THIS PARCEL IS 346,467.4 SF (7.95+/- AC). THE NET PARCEL AREA (WITHOUT ACCESS STRIP) IS 320,122.4 SF (7.36+/- AC).
- THIS SITE CONTAINS 2,355.4 SF (0.1% OF SITE) OF REGULATED FRESHWATER INLAND WETLANDS. THE SITE ALSO CONTAINS TO 2004-7 SF (0.2% OF SITE) OF REGULATED 100' UPLAND REVIEW AREA ASSOCIATED WITH OFF-SITE ADJACENT FRESHWATER WETLAND AREAS. LIMITS OF INLAND WETLANDS SHOWN WERE DELINEATED & FLAGGED BY R. RICHARD SNARSKI, CERTIFIED SOIL SCIENTIST IN 2002, AND MAPPED ON PLAN REF IN NOTE 6-1 ABOVE.
- THIS SITE IS NOT LOCATED WITHIN THE TOWN OF NORTH STONINGTON AQUIFER PROTECTION OVERLAY ZONE.
- THIS SITE IS DESIGNATED AS FLOOD HAZARD ZONE "X" (AREA OF MINIMAL FLOODING) BASED ON THE FEMA FIRM MAP CMP #040102091H, TOWN OF NORTH STONINGTON, NEW LONDON COUNTY JURISDICTION; MAP EFFECTIVE 04/03/2002.
- THIS SITE IS SERVED BY EXISTING ON-SITE SUBSURFACE SEWAGE DISPOSAL SYSTEMS AS REGULATED BY LEDGELIGHT HEALTH DISTRICT & INDIVIDUAL ON-SITE PRIVATE WELLS.
- TOPOGRAPHY & EXISTING CONDITIONS WITHIN SITE LIMITS SHOWN WERE ESTABLISHED BY PARTIAL GROUND SURVEY PERFORMED 01/24/2022 BY JAMES BERNARDO LAND SURVEYING LLC, 102A SPITHEAD ROAD, WATERFORD, CT. CONTRACTOR SHALL VERIFY ALL SITE ELEVATIONS & CONDITIONS PRIOR TO ANY LAND DISTURBANCE OR SITE WORK.
- ELEVATIONS SHOWN ARE BASED ON NAVD-88 (NORTH AMERICAN VERTICAL DATUM); CONTRACTOR TO RELOCATE/PROTECT BENCHMARKS AS REQUIRED.
- ALL UNDERGROUND AND OVERHEAD UTILITIES SHOWN HEREON ARE APPROXIMATE AND MUST BE VERIFIED PRIOR TO COMMENCING ANY SITE WORK. THE ENGINEER MAKES NO STATEMENT, WARRANTY OR GUARANTEE TO THE LOCATION, SIZE, TYPE, QUANTITY OR CONDITION OF ANY UTILITIES SHOWN HEREON.
- CONTRACTOR MUST CONTACT "CALL BEFORE YOU DIG" ORGANIZATION AT 811 OR 1-800-322-4455, AT LEAST (3) BUSINESS DAYS PRIOR TO COMMENCING ANY SITE WORK, DRILLING, EXCAVATION OR ANY OTHER SITE SURFACE DISTURBANCE ON OR ADJACENT TO THIS PROJECT SITE.
- ANY PROPOSED NEW ELEC/COMM UTILITY SERVICES TO THIS PROJECT SHALL BE EXTENDED UNDERGROUND TO THE BUILDING UNLESS OTHERWISE NOTED.
- ALL MATERIALS, INSTALLATION & WORKMANSHIP SHALL BE IN ACCORDANCE WITH ALL APPLICABLE LOCAL/MUNICIPAL SITE PLAN STDS & REGULATIONS, DPM CONSTRUCTION STANDARDS AND/OR THE STANDARD SPECIFICATIONS FOR ROAD & BRIDGE AND INCIDENTAL CONSTRUCTION BY THE CONDOT FORM 811, OR LATEST EDITION WITH ALL APPLICABLE ADDENDA & REVISIONS THEREOF.
- ALL TRAFFIC SIGNAGE, MARKINGS, LOCATIONS AND INSTALLATIONS SHALL BE IN STRICT ACCORDANCE WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), LATEST EDITION & DPM STANDARDS.
- AS APPLICABLE, THE CONTRACTOR MUST COORDINATE ALL UTILITY SHUT-OFFS, ABANDONMENTS, NEW CONNECTIONS & INSTALLATIONS WITH THE APPROPRIATE UTILITY COMPANIES, BEFORE & DURING ANY UTILITY WORK ON THIS PROJECT.
- A 18,813.4 SF PORTION (5%) OF THIS PARCEL IS ENCRAGES BEYOND THE MUNICIPAL TOWN LINE AND FALLS WITHIN THE TOWN OF STONINGTON. NO PORTION OF ANY PROPOSED SITE IMPROVEMENTS FOR THIS PROJECT FALLS WITHIN THE TOWN OF STONINGTON.
- FIRE LANES, IF REQUESTED BY THE LOCAL FIRE MARSHAL, SHALL BE INSTALLED & MAINTAINED ON SITE IN ACCORDANCE WITH LOCAL MUNICIPAL ORDINANCE.

PREVIOUS SITE PERMIT HISTORY:

DATE APP'D	PERMIT #	PERMIT DESCRIPTION
4/23/1977	77-025	ZONING PERMIT TO CONSTRUCT 24'X50' RESIDENCE
11/02/80	80-31	SEPTIC SYSTEM PERMIT - 3-BR PARSONAGE BLDG
02/25/85	85-5	SEPTIC SYSTEM PERMIT - CHURCH ADDITION/DAYCARE
10/2/1996	96-99	ZONING PERMIT TO CONSTRUCT 10'X24' WOOD DECK
10/2/1996	96-094	BUILDING PERMIT - 12'X21' DECK
7/9/1997	97-13	WETLANDS PERMIT TO CONSTRUCT DRIVEWAY
6/9/2004	04-078	WETLAND PERMIT TO FILL
7/20/2004	VARIANCE 04-06	V0165/P0902 - PARK SPACE SIZE/DRIVEWAY REDUCTION/ELIMINATE CURB REQMTS
8/19/2004	PWSID CT1020234	CTDOW WELL SITE APPROVAL - TRANSIENT NON-COMMUNITY WATER SYSTEM
9/2/2004	SP#04-158	SITE PERMIT FOR EXPANSION OF EXIST CHURCH FACILITY (NEW CHURCH BLDG)
10/7/2004	227458	CT WELL DRILLING PERMIT - CHURCH
11/1/2006		BUILDING PERMIT - RE-SHINGLE PARSONAGE ROOF
11/21/2006	H06-035	BUILDING PERMIT - 120G LPG TANK & PIPING
5/18/2009	09-034	SITE PLAN APPROVAL EXTENSION - 5 YEARS
11/10/2009	09-100	SITE PLAN MINOR MODIFICATION - CHANGES IN CHURCH CONSTRUCTION PHASING
3/3/2010	10-014	ZONING PERMIT TO CONSTRUCT NEW CHURCH
5/3/2010	B10-007	BUILDING PERMIT TO CONSTRUCT CHURCH BUILDING
10/7/2010	H10-035	BUILDING PERMIT - A/G 1000G LPG TANK & PIPING
4/5/2011	S11-004	SEPTIC SYSTEM PERMIT - CHURCH - DESIGN SAN ADF = 1305 GPD
5/19/2011	C.O.	CERTIFICATE OF OCCUPANCY - CHURCH BUILDING
9/23/2019	E19-094	BUILDING PERMIT - NEW 200A ELECTRIC SERVICE & PANEL
6/24/2021	B21-206	BUILDING PERMIT - TEMP WEDDING TENT

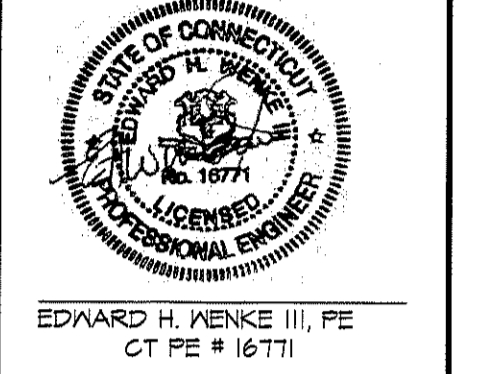
WORK WITHIN PUBLIC STREET/HIGHWAY R.O.W.

ANY WORK WITHIN THE JEREMY HILL ROAD R.O.W. SHALL REQUIRE EXCAVATION & SITE ACCESS PERMITS FROM THE TOWN OF NORTH STONINGTON, DEPT. OF HAYS / PUBLIC WORKS.

NRCS SITE SOIL CRITERIA:

#45A - WOODBRIDGE Fine Sandy Loams 0%-3% Slopes & #45B - WOODBRIDGE Fine Sandy Loams 3%-8% Slopes Moderately Well-Drained; H56 C/D; Restrictive 20"-34" Depth to 6M; 18"-30"; Ksat: Mod to V. Low 0.0-0.14 in/hr

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REVISIONS

LTR	DESCRIPTION	DATE
A	ISSUE FOR SITE PERMIT	02.25.22

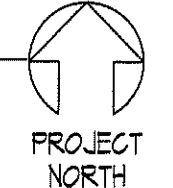
EXISTING SITE CONDITIONS & SITE DEMOLITION PLAN
PROPOSED CHURCH BUILDING ADDITION
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 FOR PROPERTY LOCATED AT
100C JEREMY HILL ROAD - MBL 115/0343 - ZONE R-60
 TOWN OF NORTH STONINGTON - NEW LONDON COUNTY - CONNECTICUT

Dwg. No. **C-02**
 SHEET 2 OF 16
 Scale: **AS SHOWN**
 Date: **FEBRUARY 2022**
 Project No. **211035**

CALL TOLL FREE FOR CONNECTICUT
 1-800-922-4455 OR DIAL 811
 CALL TWO FULL WORKING DAYS IN ADVANCE TO LOCATE BURIED UTILITY PIPES & CABLES

EXISTING SITE CONDITIONS & SITE DEMOLITION PLAN

SCALE: 1" = 40'



CALL TOLL FREE FOR CONNECTICUT
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 CALL TWO FULL WORKING DAYS IN ADVANCE TO LOCATE BURIED UTILITY PIPES & CABLES

NEW PVMT AREA = 26,260 SF
 NEW STONE AREA = 16,630 SF
 NEW CHIP-SEAL AREA = 1,200 SF

PAVED SPACES = 42 SPACES
 GRAVEL SPACES = 41 SPACES
 TOTAL SPACES = 83 SPACES

N/F
ERICK L. & PATRICIA TAYLOR
 54 JEREMY HILL ROAD
 MBL #14-315 ZONE R-60
 V 0224/P 0149
 I-FAMILY RESIDENTIAL

PROJECT BENCHMARK
 RAILROAD SPIKE
 SET IN LIGHT POLE
 ELEV. = 300.10 (NAVD-88)
 RELOCATE AS REQ'D

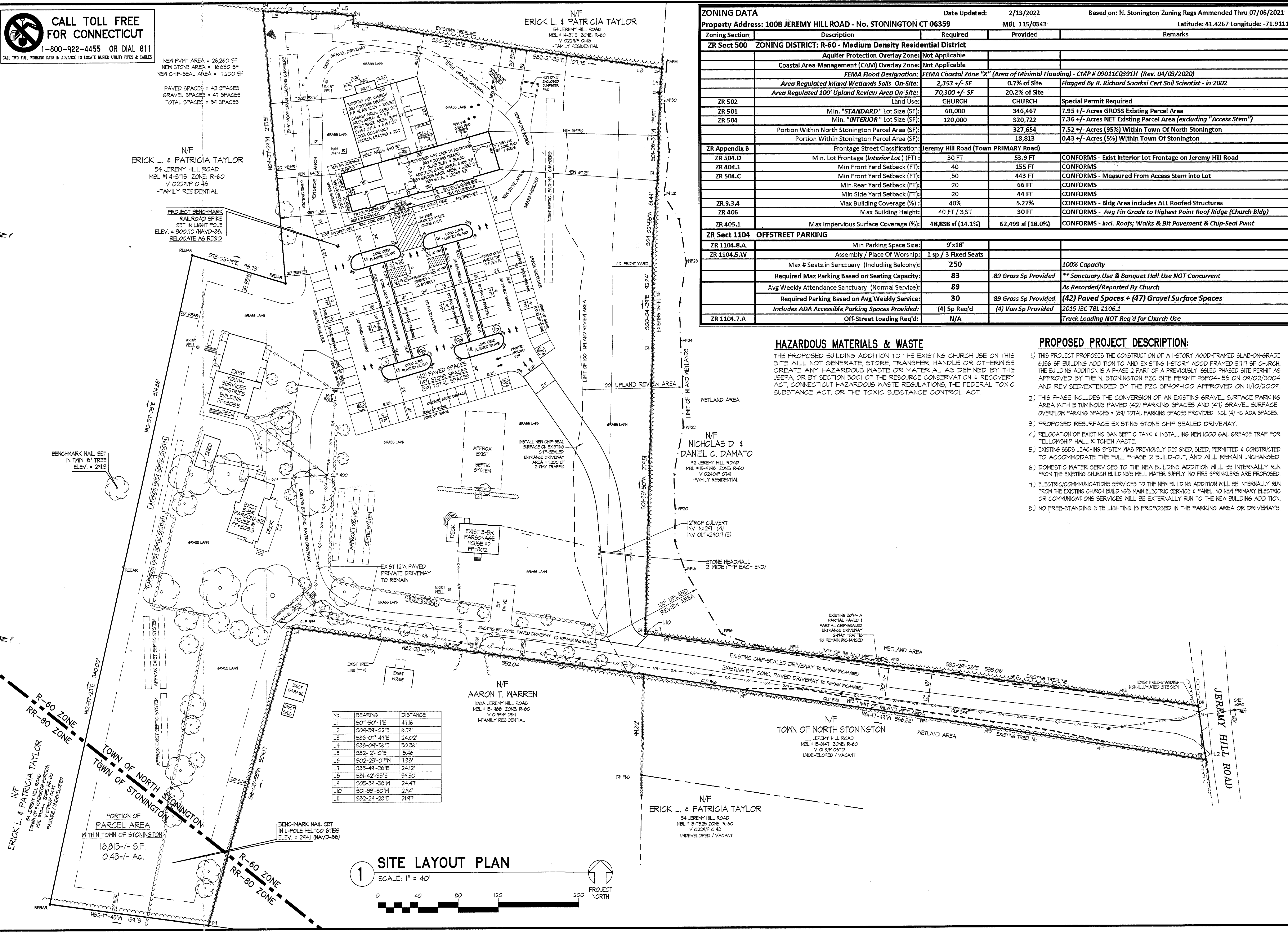
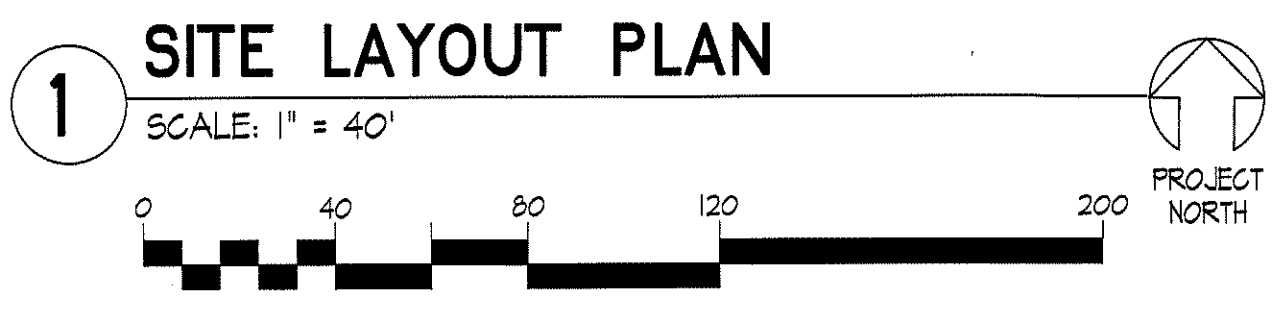


Table with 3 columns: No., BEARING, DISTANCE. Lists boundary line measurements L1 through L11.



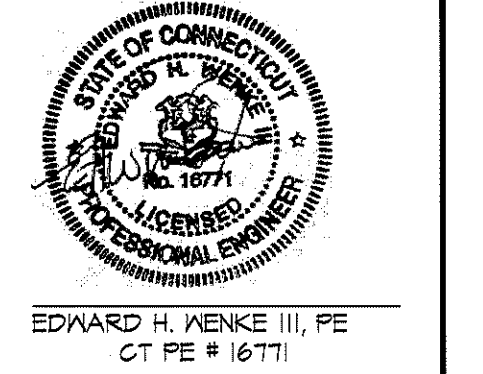
ZONING DATA Date Updated: 2/13/2022 Based on: N. Stonington Zoning Regs Amended Thru 07/06/2021
 Property Address: 100B JEREMY HILL ROAD - No. STONINGTON CT 06359 MBL 115/0343 Latitude: 41.4267 Longitude: -71.9111

Zoning Section	Description	Required	Provided	Remarks
ZR Sect 500	ZONING DISTRICT: R-60 - Medium Density Residential District			
	Aquifer Protection Overlay Zone:	Not Applicable		
	Coastal Area Management (CAM) Overlay Zone:	Not Applicable		
	FEMA Flood Designation:	FEMA Coastal Zone "X" (Area of Minimal Flooding) - CMP # 090110C0391H (Rev. 04/03/2020)		
	Area Regulated Inland Wetlands Soils On-Site:	2,353 +/- SF	0.7% of Site	Flagged By R. Richard Snarski Cert Soil Scientist - in 2002
	Area Regulated 100' Upland Review Area On-Site:	70,300 +/- SF	20.2% of Site	
ZR 502	Land Use:	CHURCH	CHURCH	Special Permit Required
ZR 501	Min. "STANDARD" Lot Size (SF):	60,000	346,467	7.95 +/- Acres GROSS Existing Parcel Area
ZR 504	Min. "INTERIOR" Lot Size (SF):	120,000	320,722	7.36 +/- Acres NET Existing Parcel Area (excluding "Access Stem")
	Portion Within North Stonington Parcel Area (SF):		327,654	7.52 +/- Acres (95%) Within Town Of North Stonington
	Portion Within Stonington Parcel Area (SF):		18,813	0.43 +/- Acres (5%) Within Town Of Stonington
ZR Appendix B	Frontage Street Classification:	Jeremy Hill Road (Town PRIMARY Road)		
ZR 504.D	Min. Lot Frontage (Interior Lot) (FT):	30 FT	53.9 FT	CONFORMS - Exist Interior Lot Frontage on Jeremy Hill Road
ZR 404.1	Min Front Yard Setback (FT):	40	155 FT	CONFORMS
ZR 504.C	Min Front Yard Setback (FT):	50	443 FT	CONFORMS - Measured From Access Stem into Lot
	Min Rear Yard Setback (FT):	20	66 FT	CONFORMS
	Min Side Yard Setback (FT):	20	44 FT	CONFORMS
ZR 9.3.4	Max Building Coverage (%):	40%	5.27%	CONFORMS - Bldg Area includes ALL Roofed Structures
ZR 406	Max Building Height:	40 FT / 3 ST	30 FT	CONFORMS - Avg Fin Grade to Highest Point Roof Ridge (Church Bldg)
ZR 405.1	Max Impervious Surface Coverage (%):	48,838 sf (14.1%)	62,499 sf (18.0%)	CONFORMS - Incl. Roofs; Walks & Bit Pavement & Chip-Seal Pmt
ZR Sect 1104 OFFSTREET PARKING				
ZR 1104.8.A	Min Parking Space Size:	9'x18'		
ZR 1104.5.W	Assembly / Place Of Worship:	1 sp / 3 Fixed Seats		
	Max # Seats in Sanctuary (Including Balcony):	250		100% Capacity
	Required Max Parking Based on Seating Capacity:	83	89 Gross Sp Provided	** Sanctuary Use & Banquet Hall Use NOT Concurrent
	Avg Weekly Attendance Sanctuary (Normal Service):	89		As Recorded/Reported By Church
	Required Parking Based on Avg Weekly Service:	30	89 Gross Sp Provided	(42) Paved Spaces + (47) Gravel Surface Spaces
	Includes ADA Accessible Parking Spaces Provided:	(4) Sp Req'd	(4) Van Sp Provided	2015 IBC TBL 1106.1
ZR 1104.7.A	Off-Street Loading Req'd:	N/A		Truck Loading NOT Req'd for Church Use

HAZARDOUS MATERIALS & WASTE
 THE PROPOSED BUILDING ADDITION TO THE EXISTING CHURCH USE ON THIS SITE WILL NOT GENERATE, STORE, TRANSFER, HANDLE OR OTHERWISE CREATE ANY HAZARDOUS WASTE OR MATERIAL AS DEFINED BY THE USEPA OR BY SECTION 800I OF THE RESOURCE CONSERVATION & RECOVERY ACT, CONNECTICUT HAZARDOUS WASTE REGULATIONS, THE FEDERAL TOXIC SUBSTANCE ACT, OR THE TOXIC SUBSTANCE CONTROL ACT.

- PROPOSED PROJECT DESCRIPTION:**
- THIS PROJECT PROPOSES THE CONSTRUCTION OF A 1-STORY WOOD-FRAMED SLAB-ON-GRADE 6,136 SF BUILDING ADDITION TO AND EXISTING 1-STORY WOOD FRAMED 5,117 SF CHURCH. THE BUILDING ADDITION IS A PHASE 2 PART OF A PREVIOUSLY ISSUED PHASED SITE PERMIT AS APPROVED BY THE N. STONINGTON PZC SITE PERMIT #SP04-158 ON 09/02/2004 AND REVISED/EXTENDED BY THE PZC SP#09-100 APPROVED ON 11/01/2009.
 - THIS PHASE INCLUDES THE CONVERSION OF AN EXISTING GRAVEL SURFACE PARKING AREA WITH BITUMINOUS PAVED (42) PARKING SPACES AND (41) GRAVEL SURFACE OVERFLOW PARKING SPACES = (83) TOTAL PARKING SPACES PROVIDED, INCL (4) HC ADA SPACES.
 - PROPOSED RESURFACE EXISTING STONE CHIP SEALED DRIVEWAY.
 - RELOCATION OF EXISTING SAN SEPTIC TANK & INSTALLING NEW 1000 GAL GREASE TRAP FOR FELLOWSHIP HALL KITCHEN WASTE.
 - EXISTING SDDS LEACHING SYSTEM WAS PREVIOUSLY DESIGNED, SIZED, PERMITTED & CONSTRUCTED TO ACCOMMODATE THE FULL PHASE 2 BUILD-OUT, AND WILL REMAIN UNCHANGED.
 - DOMESTIC WATER SERVICES TO THE NEW BUILDING ADDITION WILL BE INTERNALLY RUN FROM THE EXISTING CHURCH BUILDING'S WELL WATER SUPPLY. NO FIRE SPRINKLERS ARE PROPOSED.
 - ELECTRIC/COMMUNICATIONS SERVICES TO THE NEW BUILDING ADDITION WILL BE INTERNALLY RUN FROM THE EXISTING CHURCH BUILDING'S MAIN ELECTRIC SERVICE & PANEL. NO NEW PRIMARY ELECTRIC OR COMMUNICATIONS SERVICES WILL BE EXTERNALLY RUN TO THE NEW BUILDING ADDITION.
 - NO FREE-STANDING SITE LIGHTING IS PROPOSED IN THE PARKING AREA OR DRIVEWAYS.

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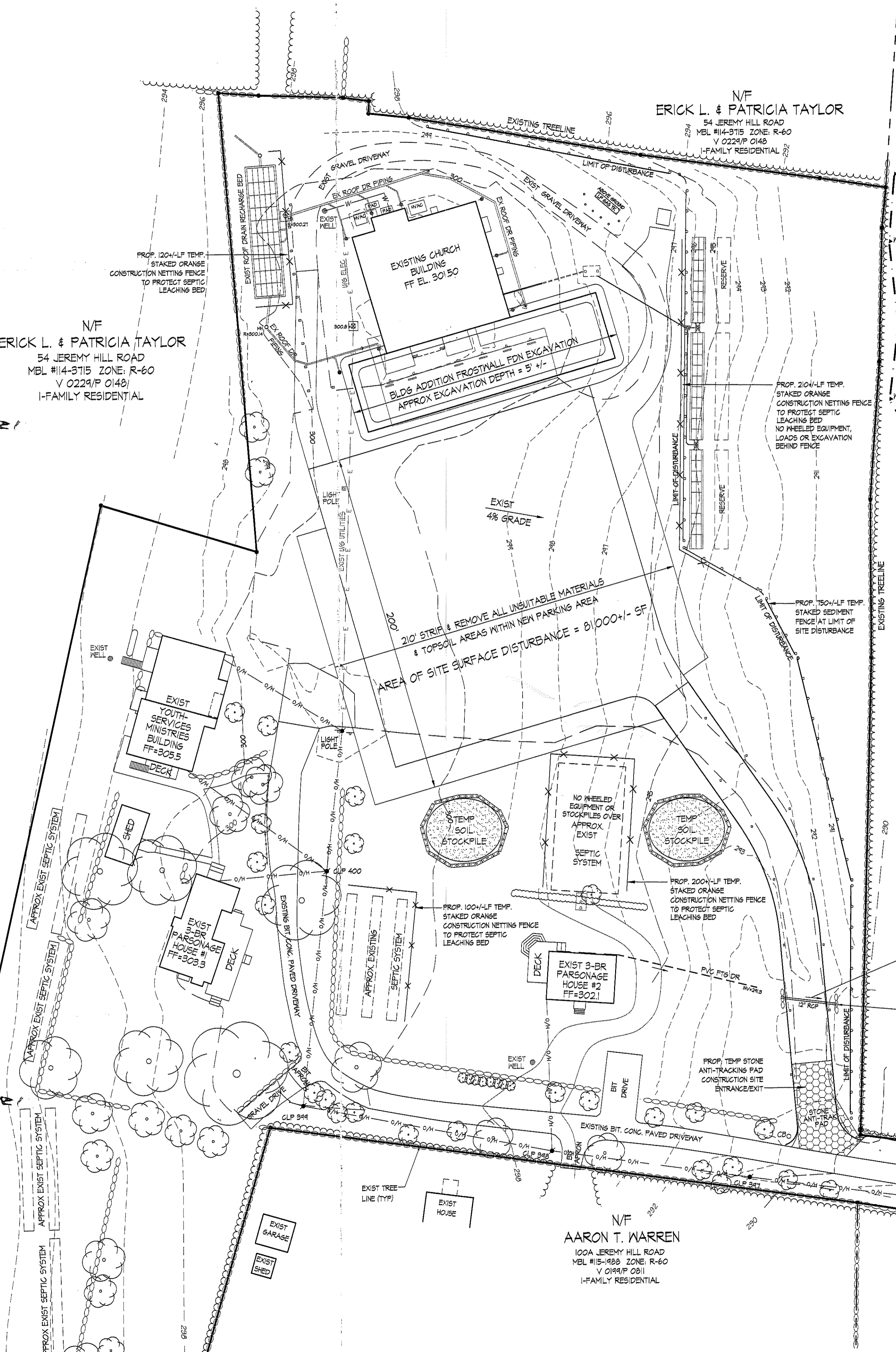
REVISIONS

LTR	DESCRIPTION	DATE
A	ISSUE FOR SITE PERMIT	02.25.22

SITE LAYOUT PLAN
PROPOSED CHURCH BUILDING ADDITION
 PREPARED FOR
NORTH STONINGTON BIBLE CHURCH INC.
 FOR PROPERTY LOCATED AT
 100C JEREMY HILL ROAD - MBL 115/0343 - ZONE R-60
 TOWN OF NORTH STONINGTON - NEW LONDON COUNTY - CONNECTICUT

Dwg. No.
C-03
 SHEET 3 OF 16
 Scale: AS SHOWN
 Date: FEBRUARY 2022
 Project No. 211035

CALL TOLL FREE FOR CONNECTICUT
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STABILIZATION NOTES

- 3-1) ALL DISTURBED AREAS NOT COVERED BY BUILDINGS, DRIVEWAYS, ROADWAYS, OR MULCHED PLANTING BEDS SHALL BE GRADED AND STABILIZED AS FOLLOWS:
 - a. PLACE A MINIMUM OF 4 INCHES OF TOPSOIL IN ALL AREAS. APPLY LIMESTONE AND FERTILIZER IN ACCORDANCE WITH TEST RECOMMENDATIONS.
 - b. APPLY RECOMMENDED SEED MIXTURE AT RECOMMENDED RATE.
 - c. APPLY STRAW OR HAY MULCH ON ALL SEEDED AREAS.
 - d. SEEDING SHALL TAKE PLACE BETWEEN APRIL 1 AND JUNE 15, OR SEPTEMBER 15 AND OCTOBER 30. SEEDING DURING THESE TIME FRAMES SHALL APPLY STRAW OR HAY MULCH AT A RATE OF 2 BALES PER 1000 SF. IF THE SEEDING IS APPLIED OUTSIDE OF THESE TIMEFRAMES, THE AREAS SHALL BE STABILIZED WITH STRAW OR HAY MULCHING @ A RATE OF 10 LBS/1000 SF.
- 3-2) ALL AREAS THAT HAVE BEEN DISTURBED BY CONSTRUCTION ARE TO BE SEEDED WITH "FUTURA 2000" BY THE CHAS. C. HART CO., CONTAINING THE FOLLOWING VARIETIES OF PERENNIAL GRASSES: PLESTA II, BLAZER II, DASSER II AND EXPRESS. A SEEDING RATE OF 5-7 LBS PER ACRE IS RECOMMENDED.
- 3-3) GRADED AREAS STEEPER THAN 3:1 SHALL BE SEEDED WITH REED CANARY GRASS (0.45 LBS/1000 SF) AND REDTOP (0.10 LBS/1000 SF) OR TOWN ENGINEER APPROVED EQUAL, AND STABILIZED WITH JUTE NETTING.
- 3-4) MULCHING SHALL BE APPLIED IN THE FOLLOWING MANNER: SPREAD MULCH BY HAND OR MULCH BLOWER. PUNCH MULCH INTO SOIL SURFACE WITH TRACK MACHINE APPROXIMATELY 2'-3" TO ANCHOR INTO SOIL.
- 3-5) WHEN ALL AREAS ARE STABILIZED, REMOVE ALL EROSION AND SEDIMENT CONTROL DEVICES AND DISPOSE OF ALL ACCUMULATED SEDIMENTS AT A PRE-APPROVED LOCATION.
- 3-6) ALTERNATE STABILIZATION MEASURES FOR SMALLER GRADES AREAS MAY INCLUDE INSTALLATION OF AN APPROVED GRASS SOD/TURF.

SOIL EROSION & SEDIMENT CONTROL NARRATIVE

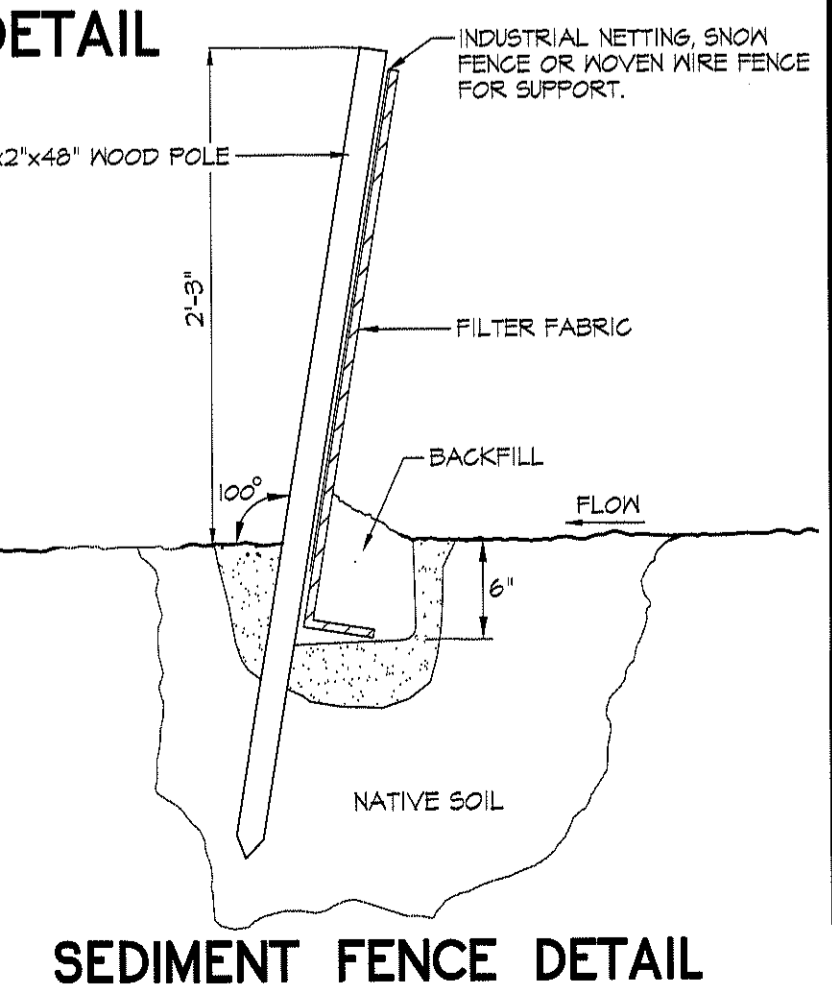
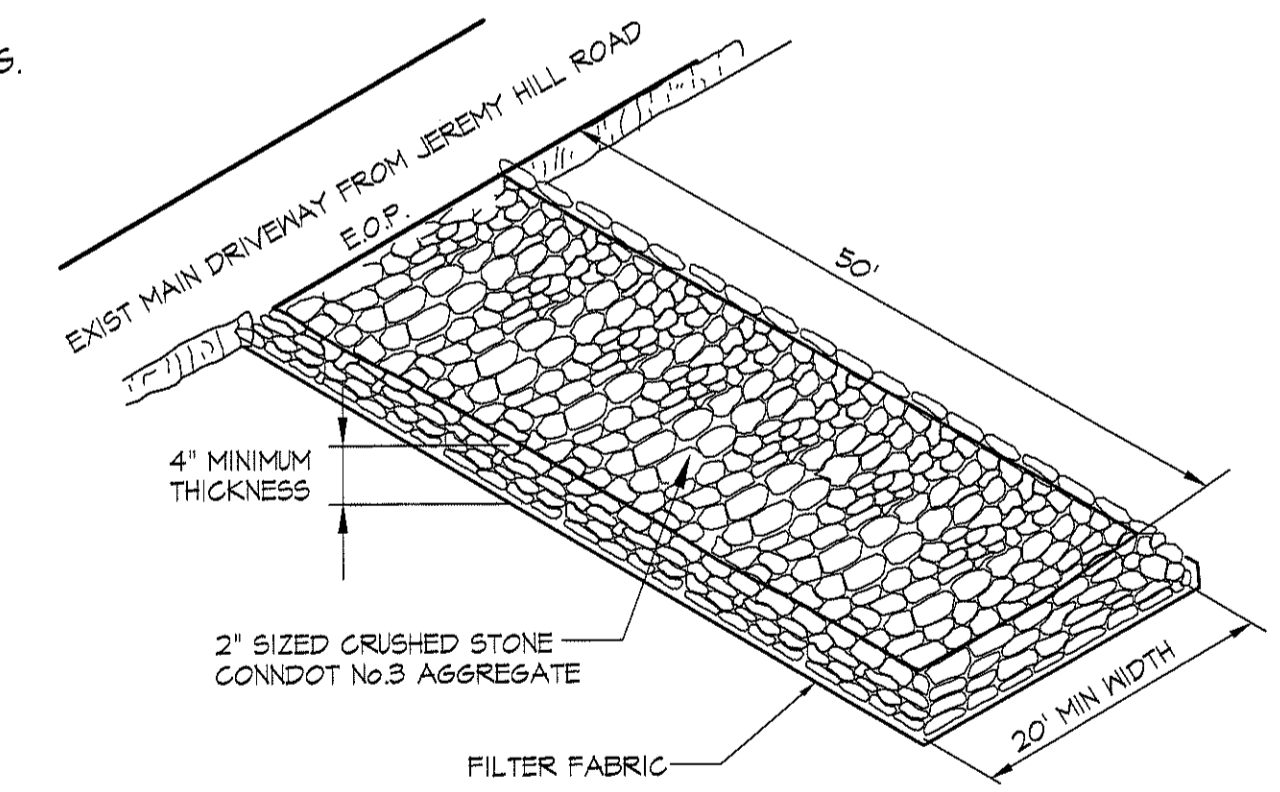
- 4-1) THIS PARCEL HAS (5) EXISTING BUILDINGS, WALKS, GRAVEL, & PAVED PARKING AREAS. THE HISTORIC SITE SURFACE CONDITIONS IS APPROXIMATELY 28% IMPERVIOUS. DISTURBED AREA CONSISTS OF 100% OF SITE AREA; THERE ARE NO WOODED AREAS.
- 4-2) THE PARCEL IS ADJACENT TO DEVELOPED I-FAMILY USES IN R-60 ZONE ALONG ADJACENT BOUNDARIES & ACROSS JEREMY HILL ROAD.
- 4-3) SOIL TYPES ON THIS SITE ARE CLASSIFIED BY THE USDA/NRCS AS FOLLOWS: #45A - WOODBRIDGE Fine Sandy Loams 0%-8% Slopes & #45B - WOODBRIDGE Fine Sandy Loams 8%-28% Slopes
- 4-4) THE ESTIMATED CONSTRUCTION DATES ARE:
 - COMMENCEMENT: MAY 2022
 - COMPLETION: MAY 2023 (EST DURATION = 12 MONTHS).
- 4-5) THIS PROJECT IS PROPOSED TO BE CONSTRUCTED IN (1) PHASE.
- 4-6) THE CONTRACTOR SHALL PROVIDE ADEQUATE FACILITIES AND EQUIPMENT FOR DUST CONTROL DURING DEMOLITION PHASES THROUGH CONSTRUCTION PHASES. DUST CONTROL SHALL BE A PRIMARY CONCERN AND SHALL BE ABATED WITH ADEQUATE WATER TRUCKS AND REGULAR WATER SPRAYING AS NEEDED.
- 4-7) THE AREAS OF MAJOR IMPORTANCE FOR SEDIMENTATION & EROSION CONTROL FOR THIS PROJECT INCLUDE, BUT NOT LIMITED TO THE FOLLOWING:
 - ALL AREAS IMMEDIATELY DOWNGRADE OF EXCAVATIONS OR ANY EARTH CUTS.
 - ALL ADJACENT PROPERTIES.
 - EXISTING WETLAND AREA ALONG EAST BOUNDARY.
 - ALL ADJACENT ROAD GUTTERS AND R.O.W.'S.
- 4-8) THE CONTRACTOR SHALL PROVIDE ADEQUATE FACILITIES & EQUIPMENT FOR EXCAVATION DE-WATERING AS REQUIRED. ALL DE-WATERING METHODS TO BE IMPLEMENTED SHALL BE REVIEWED AND APPROVED BY TOWN STAFF PRIOR TO IMPLEMENTATION. THE CONTRACTOR SHALL NOT DISCHARGE ANY SEDIMENT LADEN GROUNDWATER TO MUNICIPAL/STATE STORM DRAIN SYSTEM OR THE NEW ON-SITE INFILTRATION SYSTEM.

SOIL EROSION & SEDIMENT CONTROL NOTES

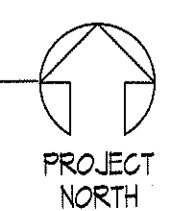
- 3-1) DISTURBANCE OF SOIL SURFACES IS REGULATED BY LOCAL & STATE LAW. ALL WORK SHALL COMPLY WITH THE FOLLOWING GUIDELINES TO PREVENT OR MINIMIZE SOIL EROSION AND/OR SEDIMENTATION.
- 3-2) THE INSTALLATION & CONTINUOUS MAINTENANCE OF EROSION CONTROL DEVICES IS THE RESPONSIBILITY OF THE PROJECT SITE CONTRACTOR.
- 3-3) THE CONTRACTOR SHALL USE THE CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL - 2002, OR LATEST REVISION, WHICH SHALL BECOME A PART OF THIS PLAN. THE GUIDELINES MAY BE OBTAINED FROM THE CONNDEP PUBLICATIONS BOOK STORE, HARTFORD, CT.
- 3-4) THE CONTRACTOR SHALL INFORM ALL CONSTRUCTION SITE WORKERS ABOUT THE MAJOR PROVISIONS OF THE EROSION CONTROL PLAN AND SHALL REQUIRE THEIR COOPERATION IN AVOIDING THE DISTURBANCE OR DAMAGE TO THESE MEASURES.
- 3-5) THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE TIMELY INSTALLATION, INSPECTION AND REPAIR OR REPLACEMENT OF EROSION CONTROL DEVICES TO ENSURE PROPER OPERATION.
- 3-6) THE CONTRACTOR SHALL INSPECT AND REPAIR EROSION AND SEDIMENT CONTROL DEVICES AT THE END OF EACH WORKING DAY AND AFTER EACH STORM.
- 3-7) THE CONTRACTOR SHALL RESTORE DISTURBED AREAS AS CLOSELY AS POSSIBLE TO THEIR ORIGINAL CONDITION.
- 3-8) THE CONTRACTOR SHALL NOTIFY STEVEN MASLIN HEREINAFTER REFERRED TO AS THE "OWNER" OF ANY UNSATISFACTORY EROSION OR SEDIMENTATION CONDITIONS NOT CONTROLLED BY THIS PLAN AS THEY MAY ARISE, AND SHALL INSTALL ADDITIONAL MEASURES AS MAY BE DIRECTED BY THE MUNICIPALITY. THE OWNER MAY BE CONTACTED AT 860-812-8266 TO REPORT ANY EMERGENCY SECC SITE CONDITIONS.
- 3-9) FIELD CHANGES TO THIS PLAN SHALL BE MADE ONLY WITH THE WRITTEN CONSENT OF THE ENGINEER AND/OR THE MUNICIPAL LAND USE AGENCY.
- 3-10) ACCUMULATED SEDIMENT REMOVED FROM EROSION CONTROL DEVICES SHALL BE CLEANED REGULARLY AND REMOVED FROM SITE OR RE-USED IN NON-STRUCTURAL PLANTING AREAS ON-SITE AS MAY BE APPROVED BY ENGINEER.
- 3-11) ALL DISTURBED AREAS NOT COVERED WITH IMPERVIOUS SURFACES, BUILDINGS OR MULCH SHALL BE PLANTED WITH GRASS ON 4" MIN. THICKNESS TOPSOIL LAYER AND PROTECTED WITH MULCH ANCHORING.
- 3-12) REFER TO STABILIZATION NOTES SHOWN ON THIS SHEET.
- 3-13) MULCHING IMMEDIATELY FOLLOWING SEEDING, MULCH THE SEEDED SURFACE WITH STRAW OR HAY AT A RATE OF 2 BALES PER 1000 SF. SPREAD MULCH BY HAND OR MULCH BLOWER. PUNCH MULCH INTO SOIL SURFACE WITH TRACK MACHINE APPROXIMATELY 2' TO 3" TO ANCHOR SECURELY INTO SOIL.
- 3-14) ANY EXISTING OR PROPOSED STORMWATER DRAINAGE STRUCTURES WHICH MAY BE SUBJECT TO SEDIMENTATION, INCLUDING CATCH BASINS/GRATES, INLET/OUTLET STRUCTURES AND OUTFALL AREAS SHALL BE PROTECTED THROUGHOUT THE ENTIRE CONSTRUCTION PERIOD. THE CONTRACTOR SHALL ENSURE THAT ANY DAMAGE, SEDIMENTATION OR OTHER CONSTRUCTION RELATED DEBRIS SHALL BE REMOVED, CLEANED AND/OR REPAIRED FOR ALL COMPONENTS OF ANY STORM DRAIN OR OTHER PROPERTIES AFFECTED BY THIS PROJECT.
- 3-15) ALL HAYBALES SHALL BE TOED INTO EXISTING SUBSTRATE SOILS AND STABILIZED WITH STURDY STAKES (TWO PER BALE).
- 3-16) ALL TEMPORARY SOIL STOCKPILE AREAS SHALL BE PROTECTED WITH A ROW OF HAYBALES OR SEDIMENT FENCE AROUND THE TOE AND SPREAD HAY MULCH AND MOVEN NETTING (OR EXCESS/EROSION CONTROL MATTING) WHEN LEFT EXPOSED FOR LONGER THAN (30) CALENDAR DAYS.
- 3-17) UPON PROJECT COMPLETION, ALL DISTURBED AREAS OTHER THAN THOSE SPECIFIED ON THE SITE PLANS, SHALL BE TREATED WITH AN APPROPRIATE SEED MIX TO ENSURE PERMANENT STABILIZATION. ALL TEMPORARY SECC CONTROLS SHALL BE MAINTAINED UNTIL EXPOSED SOILS ARE SATISFACTORILY STABILIZED.
- 3-18) SCHEDULE AN INSPECTION BY TOWN STAFF OF ALL IN-PLACE SECC MEASURES PRIOR TO ANY SITE WORK OR SURFACE DISTURBANCE.

CONSTRUCTION SEQUENCE:

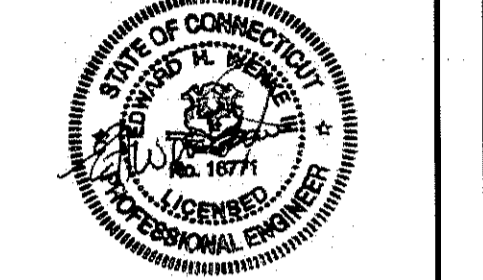
- 1) SECURE ALL NECESSARY PERMITS PRIOR TO COMMENCING WORK. SCHEDULE PRE-CONSTRUCTION SECC MTG WITH MUNICIPAL STAFF
- 2) NOTIFY "CALL BEFORE YOU DIG". DIAL #811.
- 3) ACCESS TO SITE FOR GEN'L CONSTRUCTION WILL BE FROM JEREMY HILL ROAD FRONTAGE.
- 4) INSTALL STONE ANTI-TRACKING PAD AT SOUTH END OF DRIVEWAY OFF DRIVEWAY AS SHOWN.
- 5) LOCATE EXIST SDDS BEDS BY SURVEY & INSTALL TEMP STAKED ORANGE CONSTRUCTION NETTING.
- 6) INSTALL STAKED SED FENCE/HAYBALE AS SHOWN. SCHEDULE SECC INSPECTION WITH TOWN PRIOR TO PROCEEDING WITH SITE SURFACE DISTURBANCE.
- 7) STRIP & REMOVE ALL BIT PAVEMENT & CONC WALKS WITHIN PROJECT LIMITS; HAUL OFF-SITE.
- 8) IDENTIFY, STRIP & REMOVE ALL UNSUITABLE EXISTING "FILL" SOILS & REMOVE FROM SITE.
- 9) IDENTIFY, STRIP & REMOVE ALL TOPSOIL AREAS WITHIN EXCAVATION AREA; STOCKPILE FOR RE-USE.
- 10) EXCAVATE BUILDING FDN PAD & FROSTWALL FOOTINGS; INSTALL STONE BASE & DRAINER AS REQ'D.
- 11) FORM/POUR PERIMETER CONCRETE FOOTINGS & FDN WALLS.
- 12) INSTALL APPROVED GRAVEL BACKFILL INSIDE & AROUND BUILDING FOUNDATION
- 13) PUMP & RELOCATE/INSTALL SEPTIC TANK, GREASE TRAP TANK & SEPTIC SYSTEM PIPING MODS.
- 14) GRADE PARKING AREA UP TO PVMT BASE ELEVATION
- 15) INSTALL BUILDING FLOOR SLAB & FRAMING SHELL.
- 16) EXCAVATE & INSTALL STONE STORM FILTER TRENCHES WITH UNDERDRAIN & DISCHARGE PAD.
- 17) INSTALL PAVEMENT AGGREGATE BASE, WALKS/CURBS & BIT. PVMT BINDER COURSE.
- 18) INSTALL NEW STONE SURFACE OVERFLOW PARKING STRIPS & DRIVEWAY APRONS AROUND BLDG.
- 19) INSTALL NEW FINAL BIT. PAVEMENT TOP COURSE; OIL & CHIP-SEAL RE-SURFACE ENTRY DRIVE.
- 20) INSTALL TOPSOIL & PLANTINGS IN ALL LANDSCAPE BEDS & LAWN AREAS. SEED & MULCH ALL DISTURBED GRASS LAWN AREAS.
- 21) PAINT PARKING STRIPING & INSTALL SIGNS.
- 22) CHECK & CLEAN/REPAIR/REPLACE ALL SEDIMENT & EROSION CONTROL MEASURES ON A WEEKLY BASIS AND AFTER ALL STORMS.
- 23) CONTRACTOR IS RESPONSIBLE FOR MAINTAINING A CLEAN & OPERATIONAL CONSTRUCTION SITE & ANTI-TRACKING PAD DRIVEWAY ACCESS THROUGH-OUT ENTIRE CONSTRUCTION PHASE.



1 SOIL EROSION & SEDIMENT CONTROL PLAN
 SCALE: 1" = 40'



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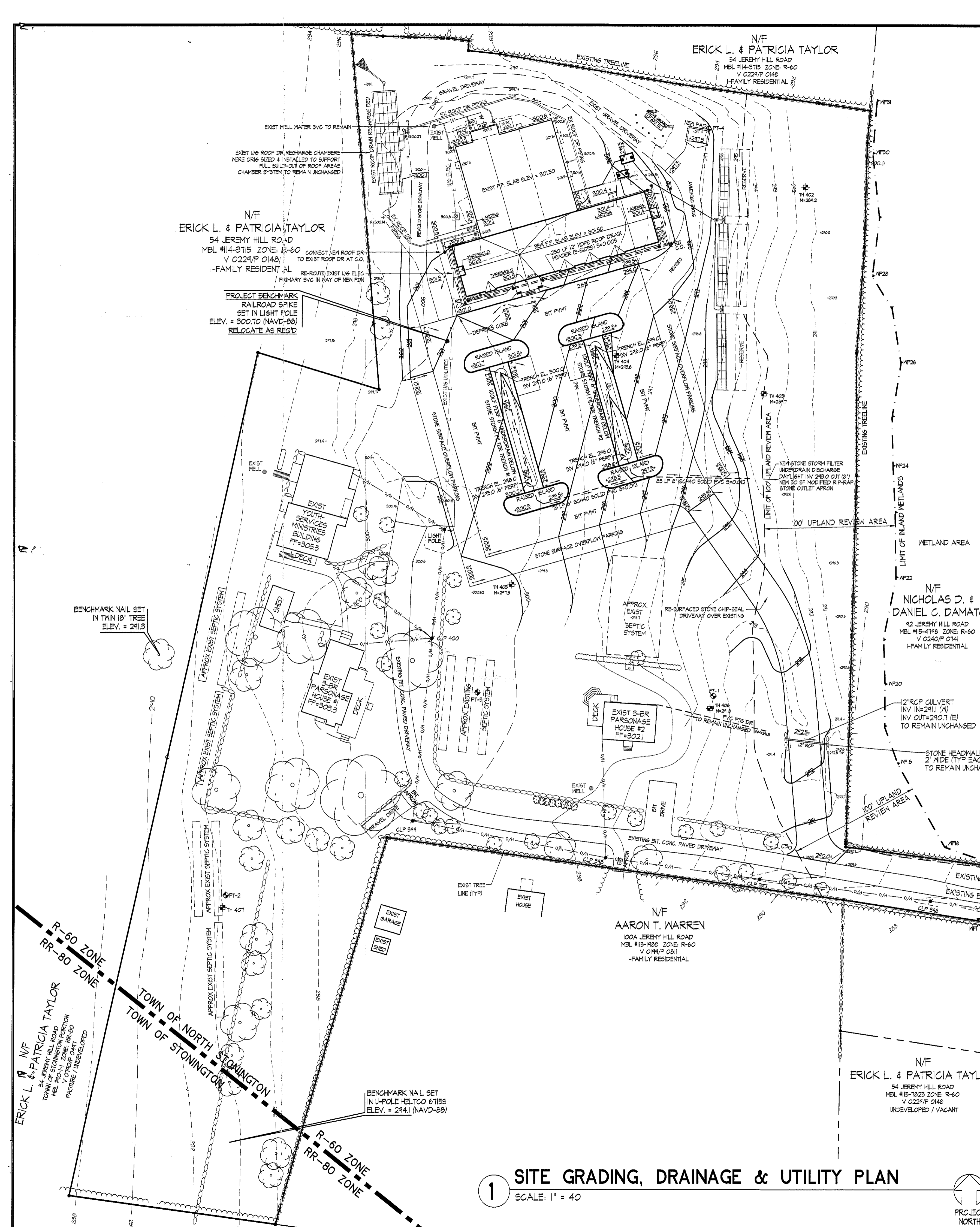
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REVISIONS

LTR	DESCRIPTION	DATE
A	ISSUE FOR SITE PERMIT	02.25.22

SOIL EROSION & SEDIMENT CONTROL PLAN
PROPOSED CHURCH BUILDING ADDITION
 PREPARED FOR
NORTH STONINGTON BIBLE CHURCH, INC.
 FOR PROPERTY LOCATED AT
 100C JEREMY HILL ROAD - MBL 115/0343 - ZONE R-60
 TOWN OF NORTH STONINGTON - NEW LONDON COUNTY - CONNECTICUT

Dwg. No.
C-04
 SHEET 4 OF 16
 Scale:
 AS SHOWN
 Date
 FEBRUARY 2022
 Project No.
 211035



ON-SITE - GROSS SURFACE CHANGES 02.13.22

SURFACE DESCRIPTION	HISTORIC S.F.	DEVELOPED S.F.	CHANGE S.F.	
GROSS PARCEL AREA (INCL. STEM)	346,467	346,467	0	No Change
NET PARCEL AREA (WITHOUT STEM)	320,722	320,722	0	No Change
IMPERV BIT PAVEMENT	19,167	26,260	7,093	Increase
IMPERV CHIP-SEAL DRIVEWAY	15,100	16,020	920	No Change
IMPERV WALKS/PADS	2,433	1,945	(488)	Decrease
IMPERVIOUS ROOF	12,138	18,274	6,136	Increase
SEMI-PERVIOUS GRAVEL DRIVE/PARKING	54,513	19,220	(35,293)	Decrease
2%-5% SLOPED GRASS LAWN AREA	243,116	258,328	15,212	Increase
BARK MULCH PLANTING BEDS	0	3,500	3,500	Increase
STONE-LINED STORM FILTER SWALES	0	2,920	2,920	
TOTALS ON-SITE SURFACE AREA:	346,467	346,467		
TOTAL IMPERVIOUS SURFACE AREA:	48,838	62,499	28.0%	% CHANGE
TOTAL % IMPERVIOUS SURFACE:	14.1%	18.0%	20% Max Allowed	

WATER QUALITY VOLUMES Revision A 02.25.22
 North Stonington Bible Church Expansion
 100C Jeremy Hill Road, North Stonington CT 06359 CTDEEP Stormwater Manual Ch.7 EHW, PE

CTDEEP WATER QUALITY VOLUME (WQV)
 Initial 1" Of Run-off

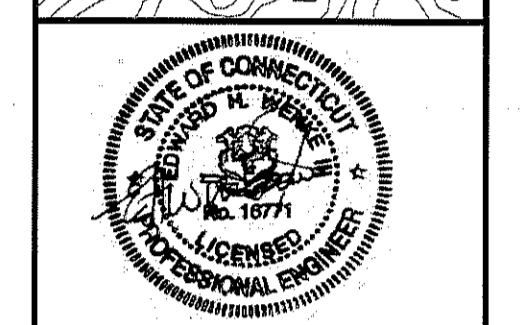
Gross Drainage Area (A)	346,467.00 SF	7.95 Ac.
Area Impervious Surface	62,499.00 SF	1.43 Ac.
% Impervious Area (I)	18.0% %	18.0% %
Volumetric Run-Off Coefficient (R)	0.0516	R = 0.05 + (0.009 x I)
Water Quality Volume to Be Treated	0.0342 Ac-Ft	WQV = ((I") x R x A) / 12
WQV req'd	1,490.49 CF	

Gross Parcel Groundwater Recharge Volume (GRV)

Gross Drainage Area (A)	346,467.00 SF	7.95 Ac.
Area Impervious Surface	62,499.00 SF	1.43 Ac.
% Impervious Area (I)	18.0% %	18.0% %
Depth of Run-Off to be Recharged	0.1000 inches	HSG "C/D"
Groundwater Recharge Volume Req'd	0.0120 Ac-Ft	GRV = (D x A x I) / 12
Storage/Infiltration Volume req'd	520.83 CF	
Roof Chambers & Stone Filter Infiltration Vol Provided	6,520.00 CF	

- SITE CONSTRUCTION NOTES**
- ALL PROPOSED GRADES SHOWN REPRESENT FINAL SURFACE OF PAVEMENT, CONCRETE OR TOPSOIL UNLESS OTHERWISE NOTED.
 - ALL FINAL SITE GRADING SHALL BE PERFORMED WITHIN AN ALLOWABLE TOLERANCE WITHIN 0.1 FEET OF THE PROPOSED FINISH GRADE ELEVATION SHOWN.
 - ALL GRADED SURFACES SHALL BE GRADED TO ACCOMPLISH POSITIVE GRAVITY DRAINAGE FROM ALL SURFACE POINTS TO INLETS.
 - GRADED SHOULDER SLOPES WITHIN EXCAVATED AREAS SHALL BE GRADED AT MINIMUM AS FOLLOWS:
 IN ROCK CUT - 1:1.5:1V OR STEEPER AS APPROVED BY TOWN IN EARTH CUT/FILL - 3H:1V
 - ALL GRAVITY PIPE RUNS SHALL BE LAID TRUE TO THE HORIZONTAL AND VERTICAL ALIGNMENT PROPOSED, WITHOUT ANY LOW SPOTS, BELLIES OR DEFLECTED ALIGNMENT.
 - ALL EXISTING OFF-SITE STORM/SANITARY PIPING AND INVERTS DESIGNATED AS "X" HEREON MUST BE VERIFIED PRIOR TO COMMENCING ANY SITEMARK OR OTHER EXCAVATION WORK.
 - THE PROJECT OWNER SHALL PROVIDE ALL NECESSARY TRAFFIC CONTROL BARRICADES, SIGNAGE, PERSONNEL AND OTHER EQUIPMENT/ITEMS REQUIRED TO MAINTAIN SAFE AND FULL PUBLIC AND EMERGENCY ACCESS ALONG ALL PUBLIC ROADS & PORTIONS OF ADJACENT PRIVATE PROPERTIES/PARKING AREA DRIVEWAYS DURING ALL PHASES OF THIS PROJECT.

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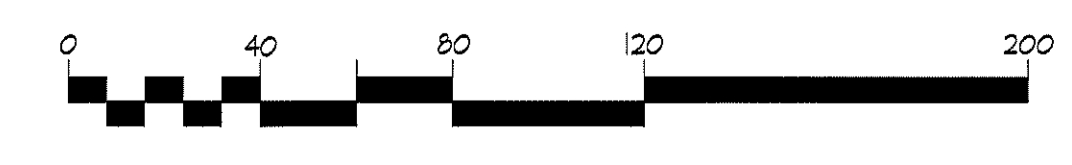
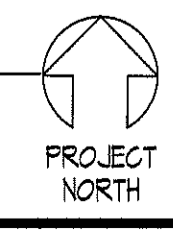
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SITE GRADING, DRAINAGE & UTILITY PLAN
PROPOSED CHURCH BUILDING ADDITION
 PREPARED FOR
NORTH STONINGTON BIBLE CHURCH INC.
 FOR PROPERTY LOCATED AT
 100C JEREMY HILL ROAD - MBL 115/0343 - ZONE R-60
 TOWN OF NORTH STONINGTON - NEW LONDON COUNTY - CONNECTICUT

Dwg. No. **C-05**
 SHEET 5 OF 16
 Scale: AS SHOWN
 Date: FEBRUARY 2022
 Project No. 211035

1 SITE GRADING, DRAINAGE & UTILITY PLAN
 SCALE: 1" = 40'



CALL TOLL FREE FOR CONNECTICUT
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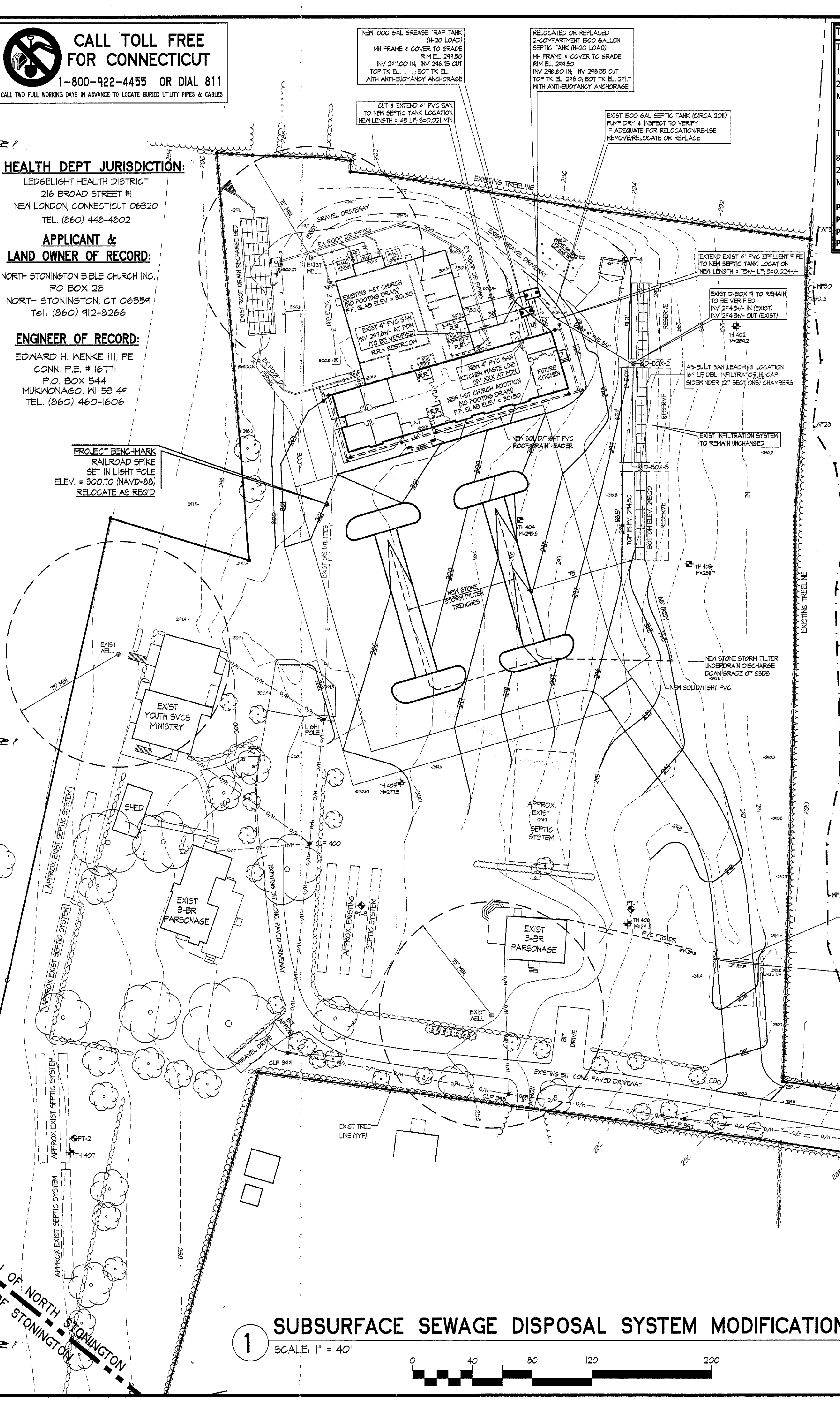
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HEALTH DEPT JURISDICTION:
 LEDGELIGHT HEALTH DISTRICT
 216 BROAD STREET #1
 NEW LONDON, CONNECTICUT 06320
 TEL: (860) 448-4802

APPLICANT & LAND OWNER OF RECORD:
 NORTH STONINGTON BIBLE CHURCH INC.
 PO BOX 28
 NORTH STONINGTON, CT 06354
 Tel: (860) 912-8266

ENGINEER OF RECORD:
 EDWARD H. WENKE III, PE
 CONN. P.E. # 16771
 P.O. BOX 544
 MUKWONAGO, MI 48154
 TEL: (860) 460-1606

PROJECT BENCHMARK:
 RAILROAD SPIKE
 SET IN LIGHT POLE
 ELEV. = 300.10 (NAVD-89)
 RELOCATE AS REQ'D



TEST PIT LOGS - 2004 - Witnessed By R. Shabunia - Town Sanitarian (Taken From Approved Septic Plan 10.01.2004)

TP #401 (02/19/2004) - Grade ELEV. 300.0 0" to 10" - TOPSOIL 10" to 27" - ORANGE-BR SILTY LOAM, MOIST 27" to 97" - GRAY SANDY SILT, COBBLES, V. COMPACT; MOIST Mottles @ 28"; Water @ 71"; No Refusal to 97"	TP #402 (02/19/2004) - Grade ELEV. 291.5 0" to 7" - TOPSOIL 7" to 30" - ORANGE-BR SILTY LOAM, MOIST 30" to 108" - OL-GRAY SILT Some VF SAND; V. COMPACT; MOIST; HARDPAN @ 30" Mottles @ 28"; Water @ 64"; No Refusal to 108"
TP #403 (05/26/2004) - Grade ELEV. 293.0 0" to 8" - TOPSOIL 8" to 28" - ORANGE-BR SILTY LOAM, MOIST 28" to 97" - OL-GRAY SILT, Some VF SAND, V. COMPACT; WET Mottles @ 27"; Water @ 57"; No Refusal to 97"	TP #404 (05/26/2004) - Grade ELEV. 298.0 0" to 10" - TOPSOIL 10" to 45" - ORANGE-BR SILTY LOAM, MOIST 45" to 96" - OL-GRAY SILT, Some VF SAND, V. COMPACT; WET Mottles @ 28"; Water @ 66"; No Refusal to 96"

Perc Test #1: 10 Min/Inch; 32"D; 45 Minute Pre-Soak - (05/26/2004)
Perc Test #2: 10 Min/Inch; 30"D; 45 Minute Pre-Soak - (05/26/2004)
Perc Test #3: 8 Min/Inch; 30"D; 55 Minute Pre-Soak - (05/26/2004)
Perc Test #4: 8 Min/Inch; 30"D; 50 Minute Pre-Soak - (05/26/2004)

ORIGINAL APPROVED SEPTIC SYSTEM BASIS OF DESIGN (08/12/2011) - Based on Full Future Build-Out
 USE: 280-Seat Church; Toddler, Nursery & Pre-School Rooms; 3-Meeting Rooms; 2-Classrooms with Public Kitchen & Shower Facilities
 Estimated Avg Daily Flow Based on Water Meter Readings = 870 GPD (Meter Readings Previously Approved by Sanitarian 2004)
 Final Design ADF Based on Water Meter Readings = 870 GPD x 1.5 = 1,305 GPD (2009 CTPHC 19-12-8103-Sect IV(B))
 Avg Percolation Rate: 8 MPI (PT-4)
 No Leach Encountered; Maximum Water Table at 28"
 2009 CTPHC 19-12-8103-Sect III(F)3 - Sewage Application Rate = 1.5 GPD/SF
 Original Proposed Effective Leaching Area (ELA) Required = 1,305 GPD/1.5 GPD/SF = 870 SF ELA Req'd
 Original Proposed SSDS Leaching System: (1) Rows of (27) Double Side-By-Side Infiltrator 16"H Hi-Cap Sideliners
 Original Proposed Length of Leaching Area Provided = (27) Chambers x 6.25 LF/Chamber = 168.75 LF
 Original Proposed Effective Leaching Area Provided = 168.75 LF x 6.25 LF/Chamber = 1,054.69 SF ELA Provided > 870 SF ELA Req'd ~ O.K.
 100% Reserve Area Provided
 Original Proposed Septic Tank = 1500 Gallon Capacity; 2-Compartment; Rated for H-20 Wheel Load
 Original Proposed Future Grease Trap Tank = 1000 Gallon Capacity

ORIGINAL MLSS ANALYSIS (08/12/2011):

Restrictive Layer:	28"	Inches Above Mottles
Average Slope:	4.20%	
Hydraulic Factor (HF):	30	
Flow Factor (FF):	1305 GPD/300 = 4.35	
Percolation Factor (PF):	1.2	8 Min/Inch Perc Rate
Min. Required MLSS:	30 x 4.35 x 1.2 = 156.6 LF MLSS Required < 168.75 LF Provided ~ O.K.	

AVERAGE DAILY SANITARY FLOW (ADF) SITE SUMMARY:

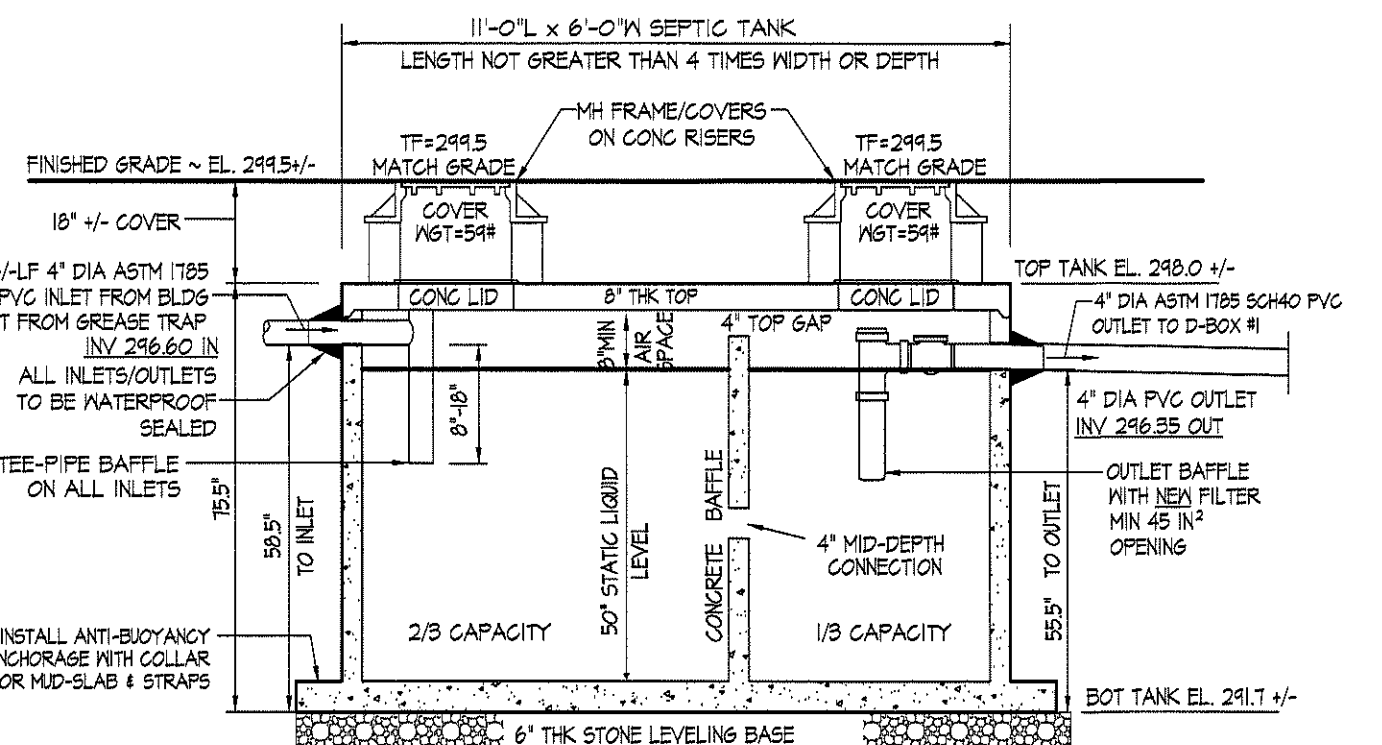
BUILDING / USE DESCRIPTION:	(GPD)	REMARKS
Exist 3-BR Parsonage #1 (150 GPD/BR):	450	DAILY/RESIDENTIAL
Exist 3-BR Parsonage #2 (150 GPD/BR):	450	DAILY/RESIDENTIAL
Exist Youth Svcs Ministry Bldg (GPD):	450	DAILY/RESIDENTIAL
Church & Fellowship Hall Bldg (GPD):	460	1x Weekly 100% Church Svc + Classes
Gross San Sewer ADF Flows for Parcel:	1810	GPD

HEALTH CODE REFERENCE:

THIS DESIGN, INCLUDING ALL MATERIALS, SETBACKS & INSTALLATION SHALL BE IN ACCORDANCE WITH THE STATE OF CT D.O.H. PUBLIC HEALTH CODE P.H.C. SECT. 19-1B-B103 INCLUDING THE ON-SITE SEWAGE DISPOSAL REGULATIONS & TECHNICAL STANDARDS FOR SUBSURFACE SEWAGE DISPOSAL SYSTEMS (DESIGN FLOWS 5000 GPD OR LESS); EFFECTIVE DATE: 08/01/1982 AND REVISED THRU 01/01/2018.

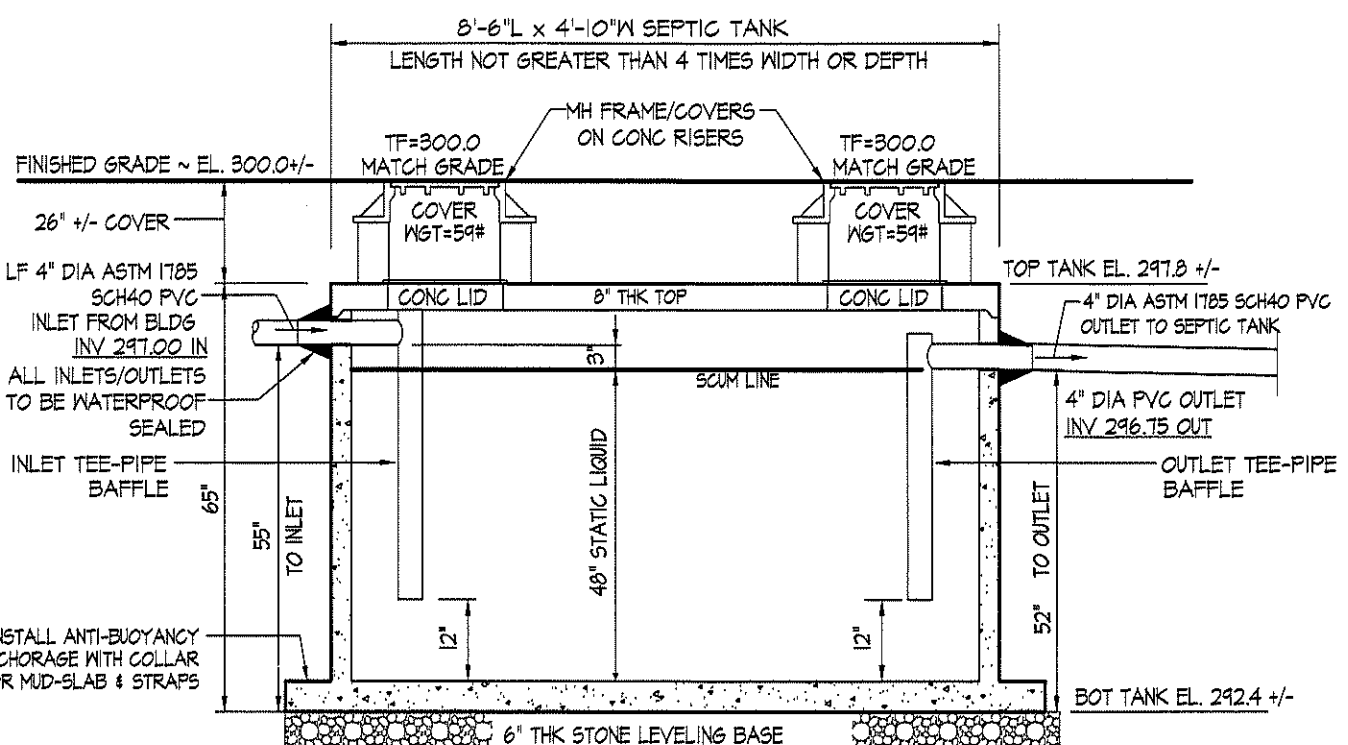
POST-INSTALLATION AS-BUILT REQUIREMENTS

INSTALLER SHALL SUBMIT SCALED AND/OR TIED AS-BUILTS TO THE LEDGELIGHT HEALTH DISTRICT SANITARIAN OFFICIAL WITHIN 30 DAYS OF COMPLETION WITH DISTANCES TO FLOW LINE AT THE HOUSE, INLET AND OUTLET COVER OF TANK, D-BOX, CLEAN-OUTS AND ENDS OF LEACHING ROWS, WELL, FOOTING/CURTAIN DRAINS (AS APPLICABLE) & BETWEEN TIE POINTS. PROVIDE NAME OF INSTALLER, DATE, HOUSE LOCATION, STREET ADDRESS & DIRECTIONAL ARROW.



1500 GALLON SEPTIC TANK DETAIL

1. PUMP EXIST TANK DRY & INSPECT FOR DAMAGE PRIOR TO REMOVAL & RELOCATION
2. CLEAR & RE-COAT EXTERIOR OF TANK & ALL SEAMS WITH MASTIC WATERPROOFING; REPLACE SEAMS WITH NEW WATER-TIGHT BUTYL RUBBER GASKET IF REQUIRED.
3. RE-USE OR PROVIDE NEW ANTI-BUOYANCY COLLAR OR MID-SLAB & STRAPS.
4. CONTRACTOR TO SHORE & DE-WATER EXCAVATED HOLE AS REQ'D
5. ALL TANKS REQUIRING ACCESS RISERS SHALL MAINTAIN THE ORIGINAL ACCESS LIDS AND PROVIDE RISER COVERS (5/8" MIN NGT) AND/OR INSTALL A SAFETY DEVICE TO PREVENT ACCIDENTAL FALLS INTO TANK.
6. PROVIDE CONCRETE RISERS WITH MH FRAME & COVER OVER EACH ACCESS PORT.
7. SEPTIC TANK TO BE PUMPED & INSPECTED EVERY 3-YEARS (MAX).



1000 GALLON GREASE TRAP TANK DETAIL

1. USE JOLLEY PRECAST MODEL 1000G (H-20) OR APPROX EQVAL.
2. COAT EXTERIOR OF TANK & ALL SEAMS WITH MASTIC WATERPROOFING; SEAMS TO HAVE WATER-TIGHT BUTYL RUBBER GASKET.
3. PROVIDE NEW ANTI-BUOYANCY COLLAR OR MID-SLAB & STRAPS.
4. CONTRACTOR TO SHORE & DE-WATER EXCAVATED HOLE AS REQ'D
5. ALL TANKS REQUIRING ACCESS RISERS SHALL MAINTAIN THE ORIGINAL ACCESS LIDS AND PROVIDE RISER COVERS (5/8" MIN NGT) AND/OR INSTALL A SAFETY DEVICE TO PREVENT ACCIDENTAL FALLS INTO TANK.
6. PROVIDE CONCRETE RISERS WITH MH FRAME & COVER OVER EACH ACCESS PORT.
7. GREASE TRAP TANK TO BE PUMPED & INSPECTED EVERY 3-YEARS (MAX).

SEPTIC SYSTEM ANALYSIS 2/25/2022

Project: North Stonington Bible Church - Proposed Church Building Addition
Location: 100B Jeremy Hill Road; North Stonington; New London County; CT 06359

PROPOSED USE: 250-Seat Church; 3-Office; 7-Classrooms; Fellowship (Meeting) Hall; Full Kitchen; NO Shower Facilities

As-Built Exist Waste Water Fixtures: (7) WC; (6) LAV; (3) Urinals
Proposed Waste Water Fixtures: (9) WC; (8) LAV; (3) Urinals; Kitchen Sink; D/W; Slop Sink

As-Built Existing Septic Tank Volume:	1500 Gallons	2-Compartment; H-20 Rated
As-Built Existing SSDS Leaching System:	(3) Rows (27) Dbl Side-By-Side Infiltrator Hi-Cap 16"H Chambers	
As-Built # DBL 6.25" Sideliner Chambers:	27 Sections	16"H x 34"W x 75"L per Chamber Section
As-Built Total SSDS Length (LF):	168.75 LF	77.78 LF MLSS Req'd ~ O.K.
Allowable Unit E.L.A. (SF/LF):	6.20 SF/LF	

Gross As-Built Exist E.L.A. Provided (SF): 1046.25 **Existing Available E.L.A. For Church Building**

Orig Exist Grade At SSDS Location ELEV.	294.00	Depth to Top System "A":	34.4	Inches (To Mottles)
Assumed 28" Mottle Layer @ SSDS ELEV.	291.67	Restrictive Layer "B":	28.0	Inches (To Mottles)
Design Top Chamber ELEV.:	294.53	Receiving Soil Depth:	31.2	Inches (A+B)/2
Design Bottom Chamber ELEV.:	293.20	Hydraulic Gradient:	4.50%	
Design Invert Into Chamber Elev.:	294.12	Hydraulic Factor (HF):	28	4.1 to 6.0% Range
Design Invert Into Septic Tank Elev.:	295.40	Flow Factor (FF):	2.78	833.3 GPD Max Flow/300
Design Invert Into Septic Tank Elev.:	295.65	Percolation Factor (PF):	1.0	8-10 Min/Inch Perc Rate
Design Invert Out At Bldg Fdn Elev.:	297.60	Min. Required MLSS:	77.78	Feet Spread

DESIGN SANITARY FLOWS & APPLICATION RATES PER CTDOH CODE:

CTDOH - Worship Service:	1.00	GPD Per Seat
CTDOH - Sunday School:	2.00	GPD Per Pupil
CTDOH - Social Events (Meals Served):	5.00	GPD Per Person
CTDOH Tbl 7 - Application Rate:	0.8	GPD/SF E.L.A. (< 10.0 Min/Inch Perc Rate)

Max Church 100% Capacity: 250 Person Attendance
 San. Sewer Flow: 250 GPD
 SSDS E.L.A. Required: 312.5 SF E.L.A. Req'd Based on FULL Attendance Capacity

Qty Classrooms Proposed: 7 Sunday School Classes
 Proposed # Students Per Classroom: 15 Sunday School Students
 Avg Daily San. Sewer Flow (ADF): 210 GPD
 SSDS E.L.A. Required: 262.5 SF E.L.A. Req'd Based on Sunday School Use Only

Social Event Attendance
 San. Sewer Flow: (MAXIMUM - Governors) 833.3 GPD
 SSDS E.L.A. Req'd: (MAXIMUM - Governors) 1041.67 SF E.L.A. Req'd Based on Social Event Use Only

WATER METER USAGE
 300 Gallons/Week (Once Per Week)
 Safety Factor (x2) Applied: 600 Gallons/Week (Once Per Week)
 SSDS E.L.A. Required: 750 SF E.L.A. Req'd Based on Factored Water Meter Readings

Fellowship (Meeting) Hall Floor Area (SF) 2500
 2015 IBC Occupancy Load: 15 SF/Person - Assembly Use; Non-Fixed Tables & Chairs
 Est. Code Max Meeting Hall Occupancy: 167 Persons in Fellowship (Meeting) Hall Only

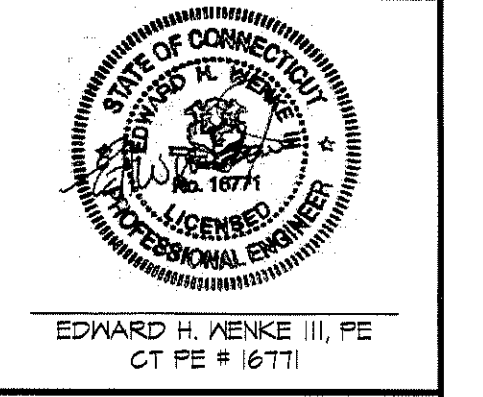
SANITARY SYSTEM NOTES

1. ALL UTILITIES SHOWN OR REFERRED TO IN THIS PLAN ARE APPROXIMATE AND MUST BE VERIFIED BY THE CONTRACTOR PRIOR TO ANY SITE CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY US CALL BEFORE YOU DIG AT 1-800-922-4455 OR 811 AT LEAST THREE (3) BUSINESS DAYS PRIOR TO ANY EXCAVATION.
2. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY UPON ANY DISCOVERY OF SITE CONDITIONS NOT ADDRESSED BY THIS PLAN. THE CONTRACTOR SHALL NOT DEVIATE FROM THIS PLAN WITHOUT THE WRITTEN PERMISSION OF THE ENGINEER, MUNICIPAL STAFF AND THE LOCAL SANITARIAN.
3. THE NEW SEPTIC TANK & PUMP CHAMBER TANK SHALL BE PRECAST CONCRETE CONSTRUCTION WITH THE FOLLOWING MINIMUM REQUIRED SPECIFICATIONS:
 CHURCH BLDG DOMESTIC SAN. 1500 GALLON 2-COMPARTMENT CONG SEPTIC TANK; H-20 RATED.
 KITCHEN WASTE: 1000 GALLON 1-COMPARTMENT CONG GREASE TRAP TANK; H-20 RATED.
 ALL TANKS TO BE ANCHORED TO PREVENT BUOYANCY.
4. SEWER LINES FROM THE FDN TO THE SEPTIC TANK & GREASE TRAP TANK & EFFLUENT LINES SHALL BE ASTM 1185 SCH40 PVC SOLID PIPE WITH TIGHT-FITTING JOINTS WITH MIN GRAVITY SLOPE OF 1/4" PER FOOT (2.08%) LAID TRUE WITH NO LOW POINTS OR 'BELLIES'. ALL OTHER GRAVITY EFFLUENT DISTRIBUTION PIPING FROM TANK SHALL HAVE GRAVITY SLOPE OF 1.0% MINIMUM (OR AS SHOWN) WITH NO LOW POINTS OR 'BELLIES'.
5. NOT LATER THAN TWO (2) DAYS AFTER INSTALLATION OF TANKS & PIPING HAS BEEN INSPECTED & APPROVED BY THE LOCAL SANITARIAN, THE CONTRACTOR SHALL BACKFILL THE SYSTEM AS SHOWN ON THE PLAN.
6. CONTRACTOR SHALL REDISTRIBUTE THE TOPSOIL TO A MINIMUM DEPTH OF FOUR (4) INCHES. GRADE THE FINISHED SURFACES TO DRAIN AND TO PREVENT EROSION/SEDIMENTATION AND FLOODING.
7. ALL DISTURBED AREAS NOT COVERED BY DRIVEWAYS, BUILDINGS OR WALKS SHALL BE PLANTED WITH 4" MIN. LAYER OF TOPSOIL, LIMED, FERTILIZED, SEEDED AND MULCHED FOR A GRASS LAWN.
8. ALL GROUNDWATER/ROOF DRAIN WATER COLLECTION PIPES WITHIN 25' OF SSDS SYSTEM SHALL BE MADE OF TIGHT 5000 PSI PVC PIPE WITH TIGHT GASKETED JOINTS AND SHALL NOT HAVE ANY FREE-DRAINING WATER (AL. F.D.M.) FOR BEDDING OR BACKFILL. MINIMUM 10' SEPARATING DISTANCE FROM TIGHT PIPE TO ANY PART OF SSDS SYSTEM.

1 SUBSURFACE SEWAGE DISPOSAL SYSTEM MODIFICATIONS

SCALE: 1" = 40'
 PROJECT NORTH

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 Massachusetts, Maryland, Pennsylvania, Wisconsin, California
 P.O. Box 544 - Mukwonago, Wisconsin 53149
 Ph: 860.460.1606 - ewenke@comcast.net



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REVISIONS

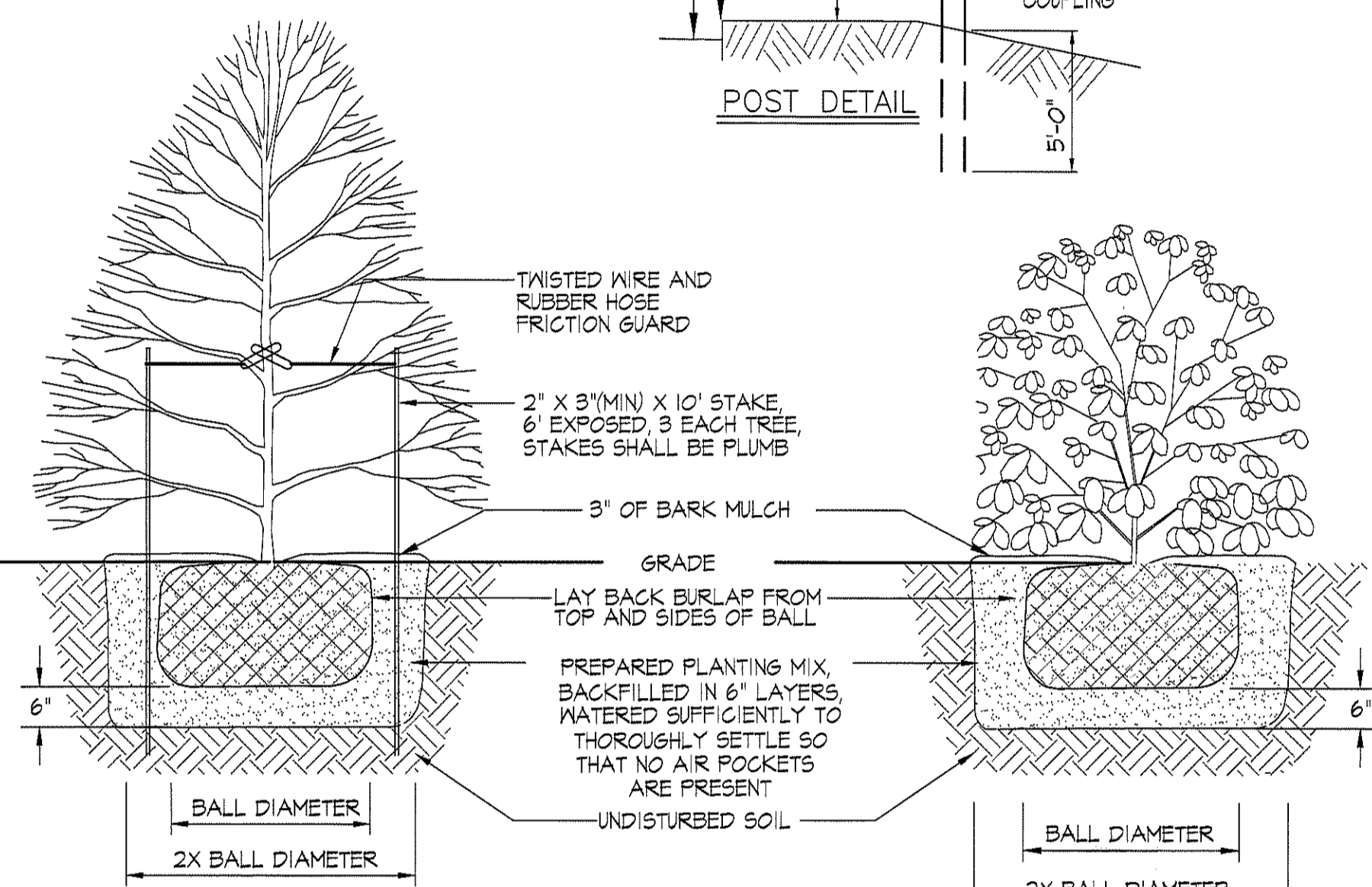
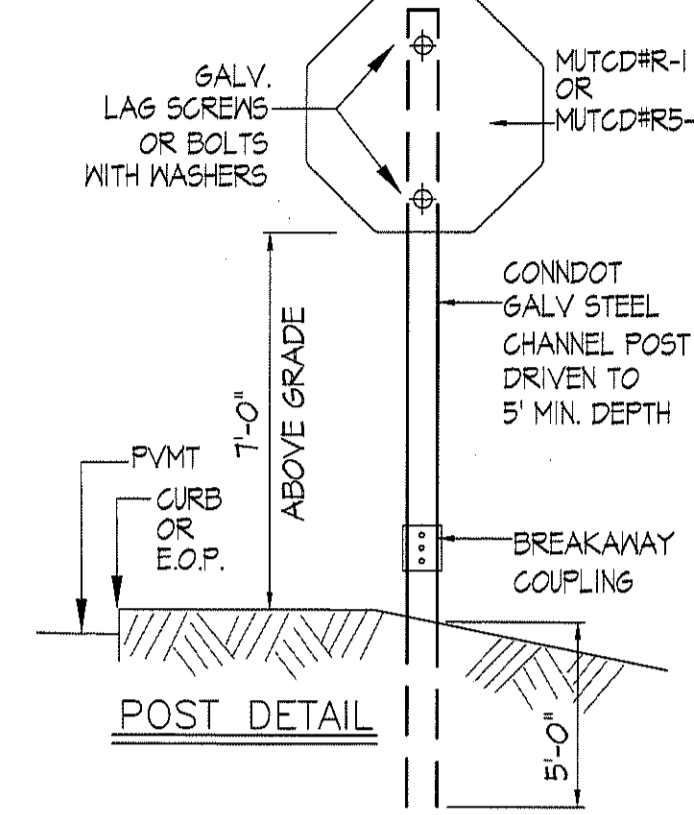
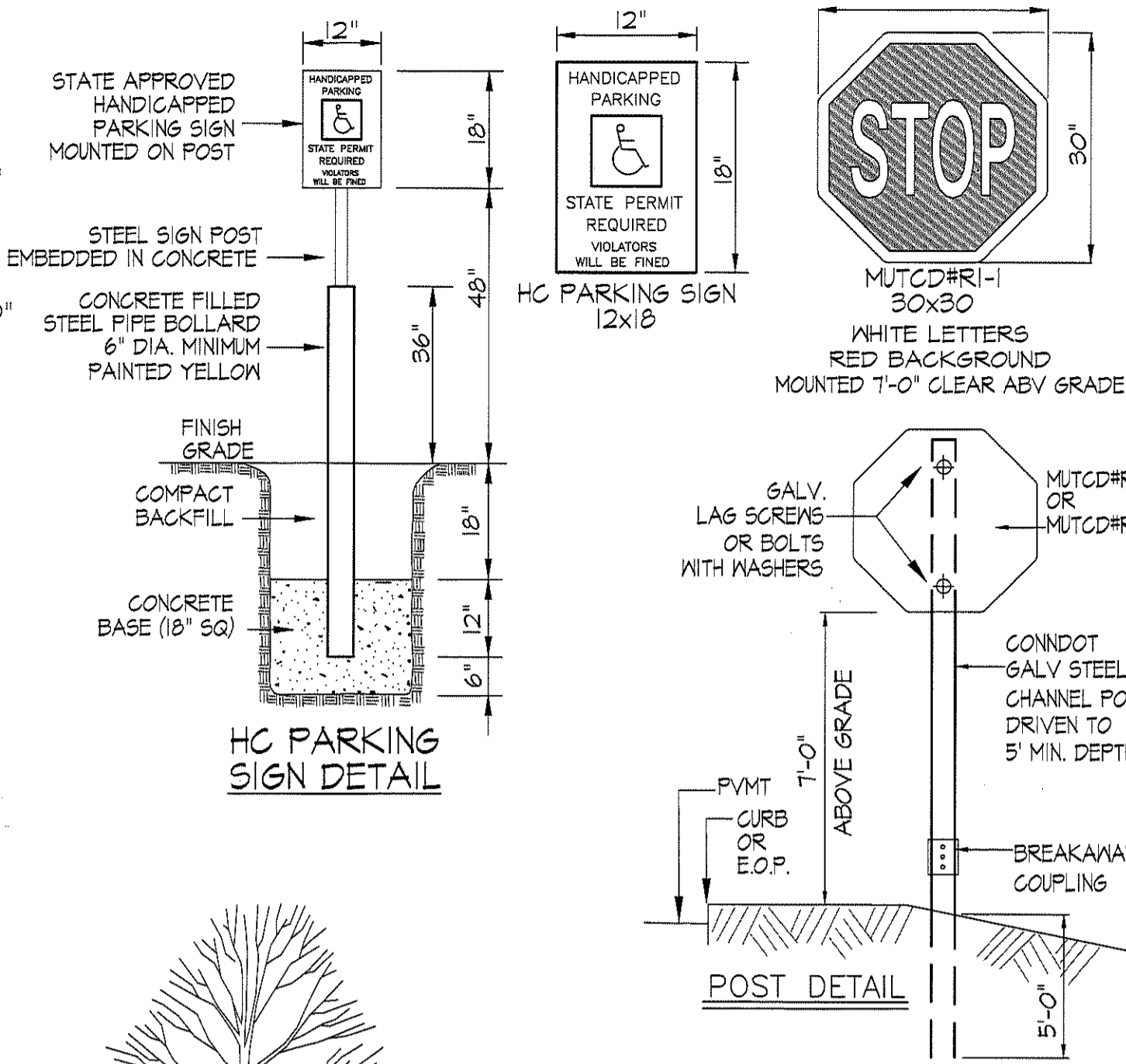
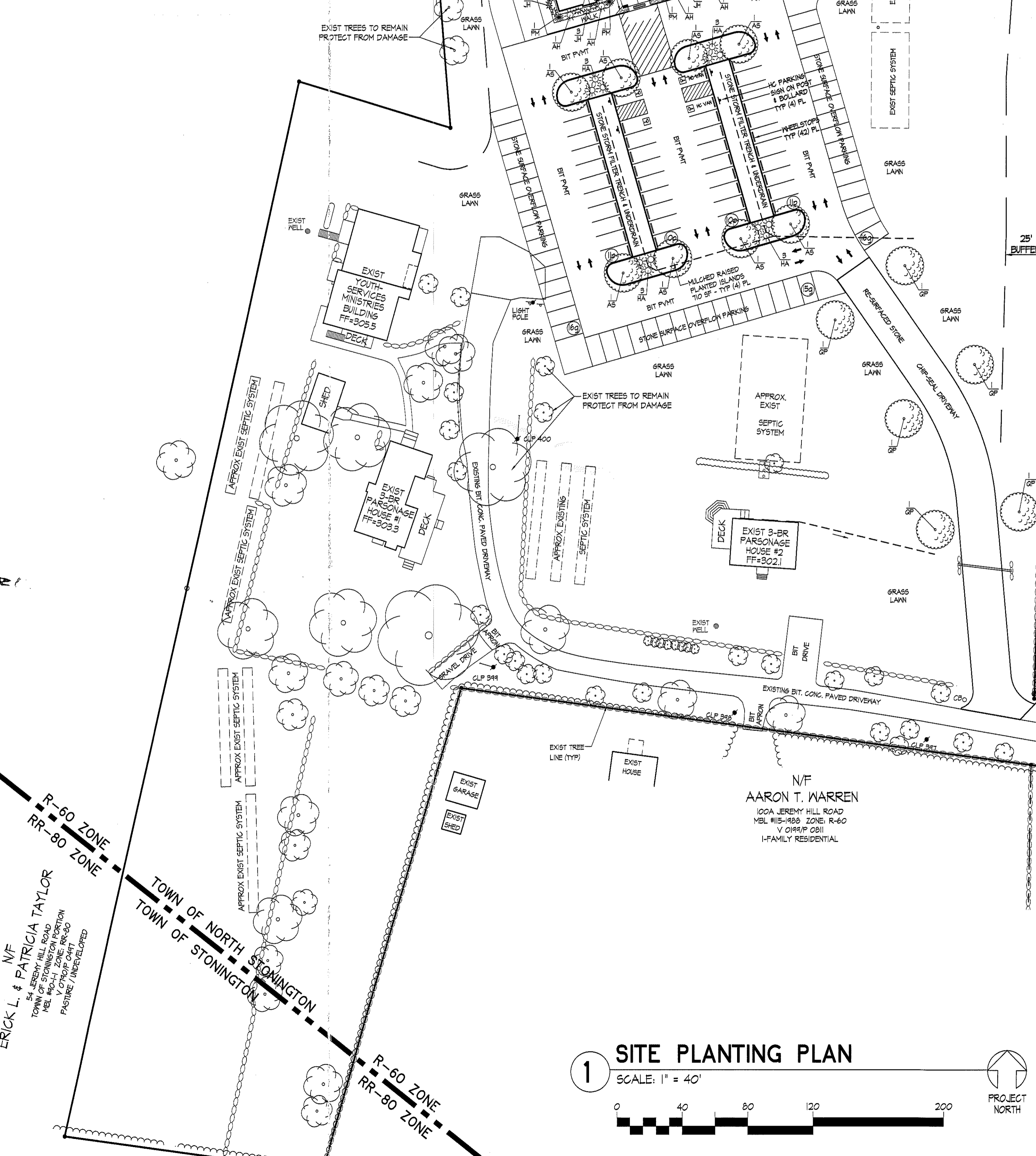
LTR	DESCRIPTION	DATE
A	ISSUE FOR SITE PERMIT	02.25.22

SUBSURFACE SEWAGE DISPOSAL SYSTEM TO ACCOMPANY B-100A PERMIT PROPOSED CHURCH BUILDING ADDITION
 PREPARED FOR
NORTH STONINGTON BIBLE CHURCH INC.
 FOR PROPERTY LOCATED AT
 100C JEREMY HILL ROAD - MBL 115/0343 - ZONE R-60
 TOWN OF NORTH STONINGTON - NEW LONDON COUNTY - CONNECTICUT

Dwg. No. **C-06**
 SHEET 6 OF 16
 Scale: AS SHOWN
 Date: FEBRUARY 2022
 Project No. 211035

CALL TOLL FREE FOR CONNECTICUT
 1-800-922-4455 OR DIAL 811
 CALL TWO FULL WORKING DAYS IN ADVANCE TO LOCATE BURIED UTILITY PIPES & CABLES

N/F
 ERICK L. & PATRICIA TAYLOR
 54 JEREMY HILL ROAD
 MBL #14-3715 ZONE: R-60
 V 0224/P 0148
 I-FAMILY RESIDENTIAL



PLANTING SCHEDULE Updated: 02.25.22

KEY	Botanical Name	Common Name	QTY	Leaf	Size/Hgt/Spacing	CT Planting Zone: 6	Shade	pH	Mature	Mature
					Time Of Planting	Drainage Tolerance	Tolerance	Range	Height	Spread
QP	<i>Quercus palustris</i>	PIN OAK	6	D	2" CAL / 6'H	Mod to Well Drained	Full/Part Sun	5.0-6.5	50'-70'	40'-60'
AS	<i>Acer saccharum</i>	SUGAR MAPLE	8	D	2" CAL / 6'H	Mod to Well Drained	Full/Part Sun	3.7-7.3	60'-70'	40'-50'
PM	<i>Pinus mugo var. pumilio</i>	DWARF MUGO PINE	9	C	15" to 18"H @ 4'oc	Mod to Well Drained	Full/Part Sun	3.7-7.3	3'-5'	6'-10'
HA	<i>Hydrangea Arborescens</i>	SMOOTH HYDRANGEA	12	P	18" to 24"H @ 4'oc	Mod to Well Drained	Full/Part Sun	5.0-6.5	5'	5'
AH	<i>Azalea Hydrida</i>	SATSUKI HYBRID AZALEA	5	P	18" to 24"H @ 2'oc	Mod to Well Drained	Full/Part Sun	5.0-6.5	3'	3'
JH	<i>Juniper Horizontalis Wiltoni</i>	BLUE RUG JUNIPER	18	C	12" to 15"H @ 4'oc	Mod to Well Drained	Full/Part Sun	5.0-7.0	6"-8"	6"-8"

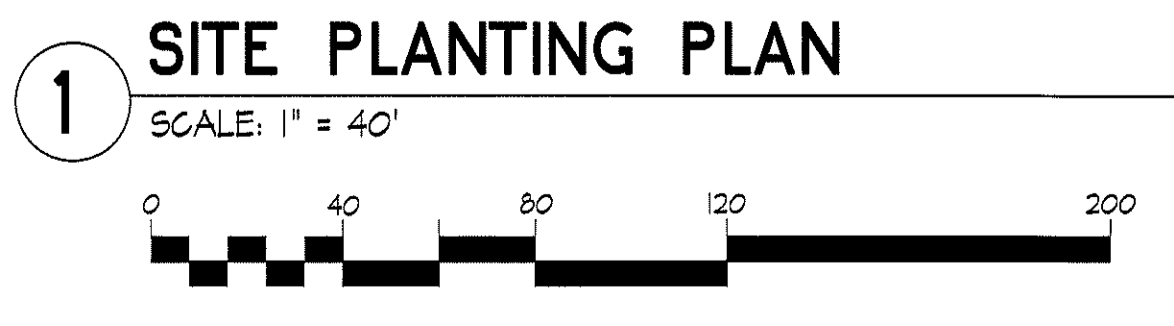
LANDSCAPE NOTES

- P-1.) THE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIAL IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTINGS AS SHOWN.
- P-2.) ALL PLANTS SHALL BE NURSERY GROWN AND CONFORM TO THE LATEST EDITION OF ANSI Z60.1, AMERICAN STANDARD FOR NURSERY STOCK.
- P-3.) ALL DISTURBED AREAS NOT PAVED OR WALK SHALL BE MULCHED PLANTING BEDS OR PLANTED WITH 4" MIN. TOPSOIL, LIME, FERTILIZE, GRASS SEED/STRAW MULCH OR SOD.
- P-4.) 3" SHREDDED BARK MULCH SHALL BE USED AROUND ALL TREE & SHRUB PLANTINGS AS SPECIFIED IN THE DETAILS. WHERE BARK MULCH IS TO BE USED IN A CURBED ISLAND THE BARK MULCH SHALL MEET THE INSIDE EDGE OF THE CURB. NEED BARRIER FABRIC BE REQUIRED IN ALL MULCHED PLANTING BEDS.
- P-5.) ALL PLANTS AND TREES SHALL BE GUARANTEED FOR A PERIOD OF ONE (1) FULL YEAR AFTER INSPECTION AND ACCEPTANCE BY THE PROJECT OWNER, AND SHALL HAVE AT LEAST 80% HEALTHY GROWTH AT THE END OF THE GUARANTEE PERIOD.

- P-6.) THE PROJECT OWNER OR THEIR DESIGNATED REPRESENTATIVE SHALL INSPECT AND APPROVE ALL NURSERY STOCK PRIOR TO DELIVERY TO PROJECT SITE.
- P-7.) NO ON-SITE IRRIGATION IS PROPOSED AS A PART OF THIS PROJECT.
- P-8.) PROJECT OWNER RESERVES THE RIGHT TO CHANGE/SELECT PERENNIAL/ANNUAL LOW-PROFILE FOUNDATION, SHOULDER, ISLAND PLANTINGS & TREE SPECIES AS APPROVED BY TOWN.
- P-9.) ANY PLANTINGS AT DRIVEWAY ENTRANCES/EXITS SIGHTLINES SHALL BE 30" MAX FULL MATURITY HEIGHT AND SHALL BE MAINTAINED REGULARLY AS SUCH BY OWNER.

SITE LIGHTING NOTES

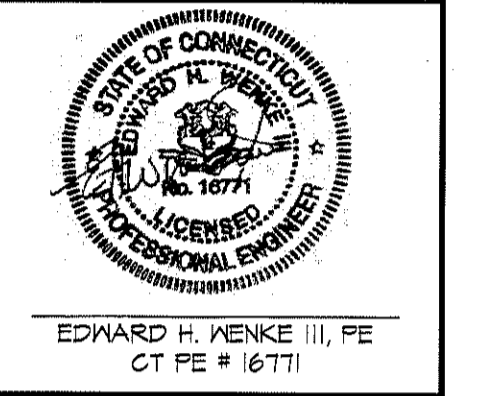
- L-1.) NO FREE-STANDING LIGHT POLES/FIXTURES ARE PROPOSED WITHIN THE PARKING LOT.
- L-2.) REFER TO ELEC PLANS BY OTHERS FOR ANY WALL MOUNTED LIGHTING FIXTURES, LOCATIONS, QTY'S, SPECS, TYPE, CONTROLS, ETC, WHICH SHALL BE FULL CUT-OFF WITH NO GLARE ONTO ADJACENT PROPERTIES.



SIGN NOTES

- S-1.) ALL TRAFFIC SIGNS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- S-3.) STOP SIGNS SHALL BE MOUNTED ON BREAK-AWAY POSTS IN ACCORDANCE WITH CONDOT SIGN CONSTRUCTION STANDARDS.

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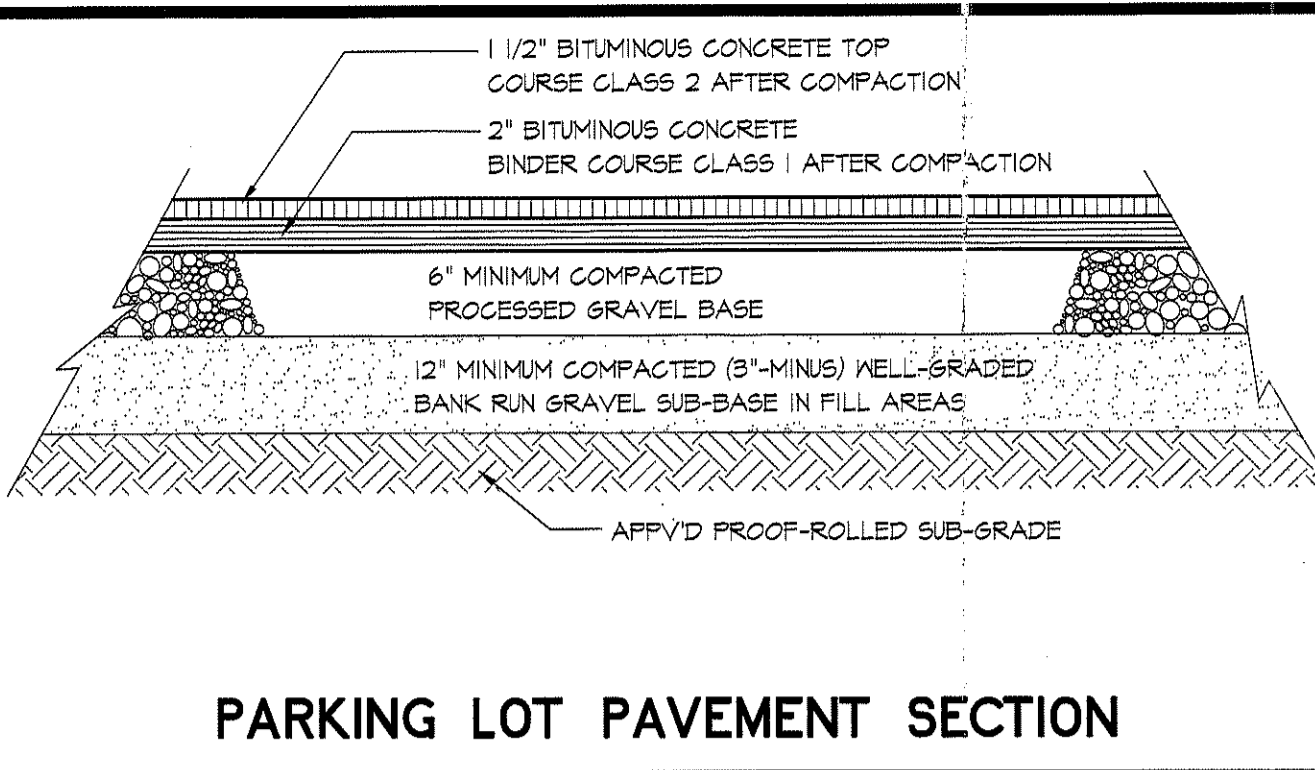
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REVISIONS

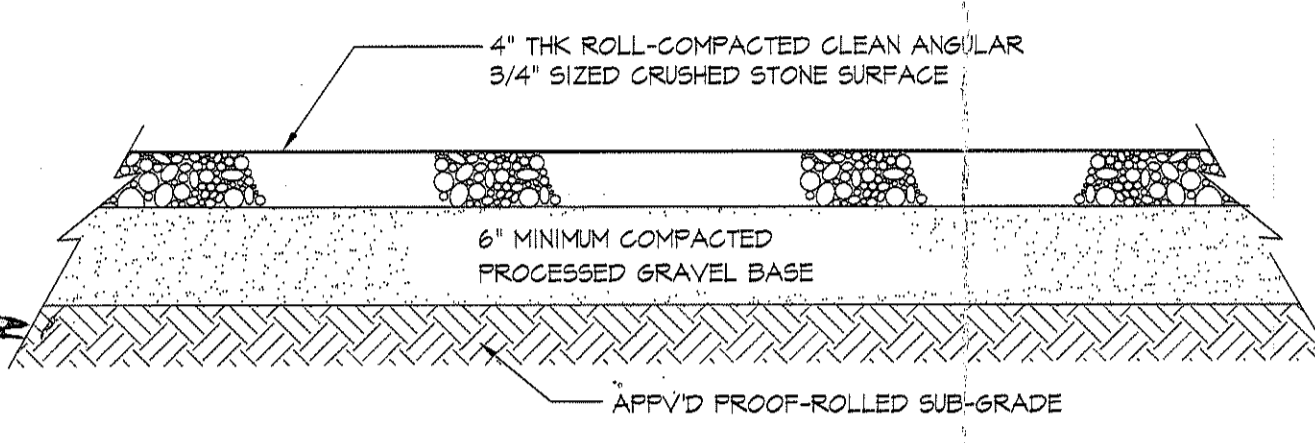
LTR	DESCRIPTION	DATE
A	ISSUE FOR SITE PERMIT	02.25.22

SITE PLANTING PLAN
 PROPOSED CHURCH BUILDING ADDITION
 PREPARED FOR
NORTH STONINGTON BIBLE CHURCH INC.
 FOR PROPERTY LOCATED AT
 100C JEREMY HILL ROAD - MBL 115/0343 - ZONE R-60
 TOWN OF NORTH STONINGTON - NEW LONDON COUNTY - CONNECTICUT

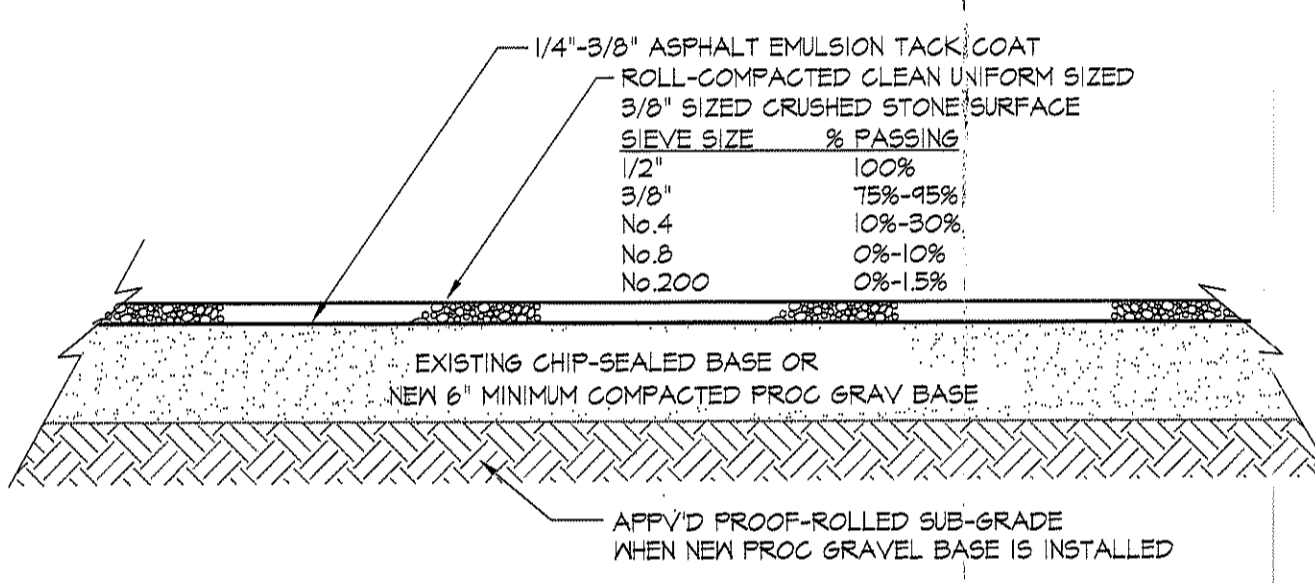
Dwg. No.
C-07
 SHEET 7 OF 16
 Scale:
 AS SHOWN
 Date
 FEBRUARY 2022
 Project No.
 211035



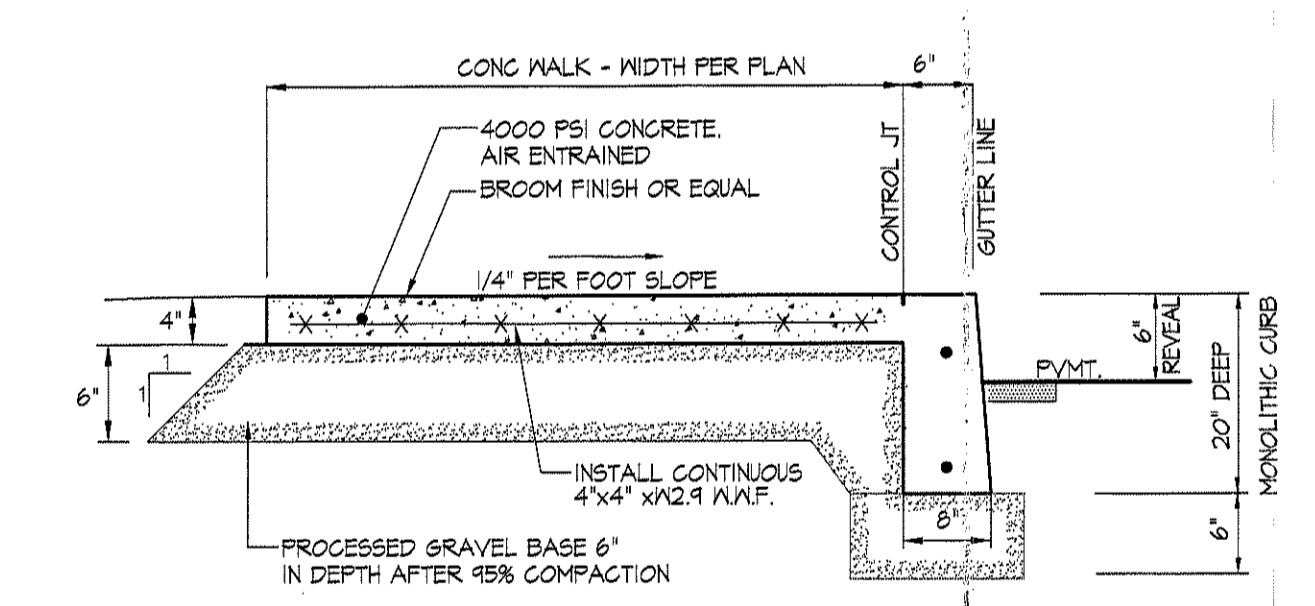
PARKING LOT PAVEMENT SECTION



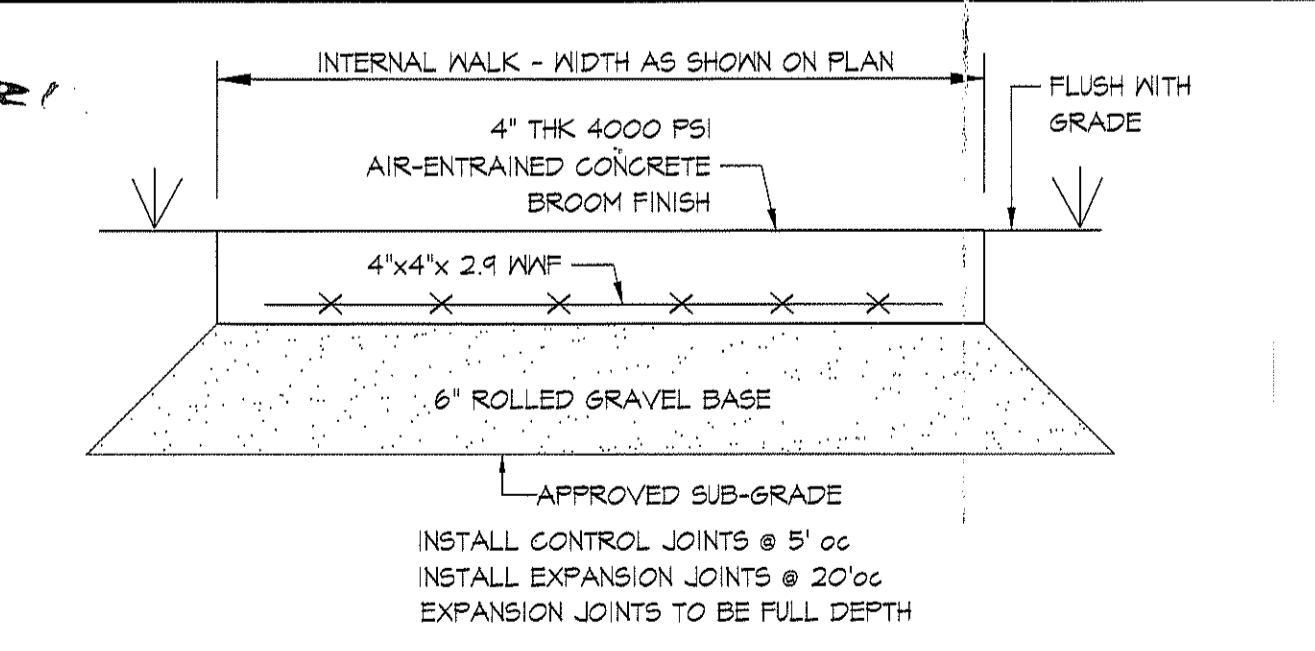
STONE SURFACE OVERFLOW PARKING SECTION



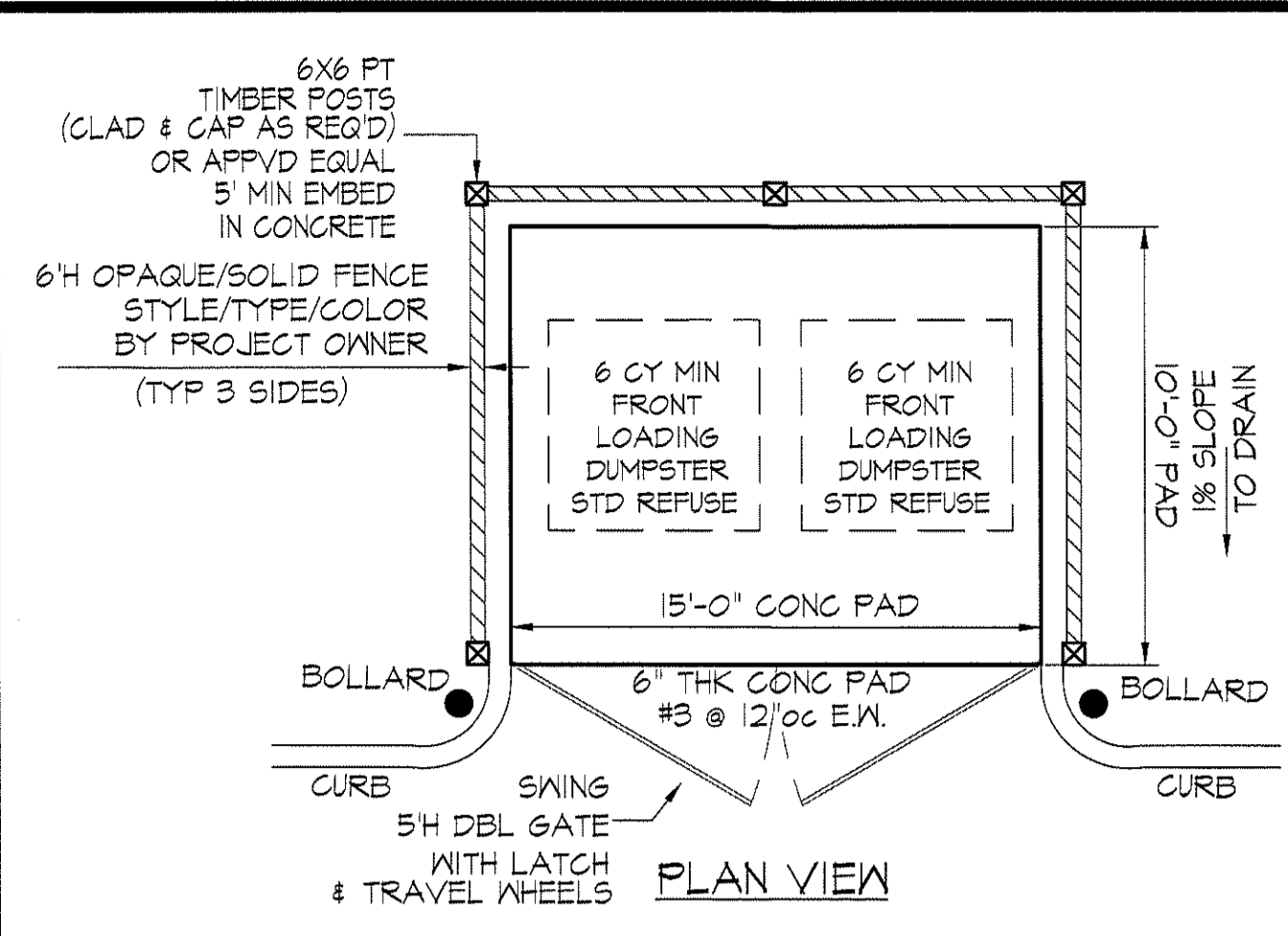
STONE CHIP-SEAL SURFACE SECTION



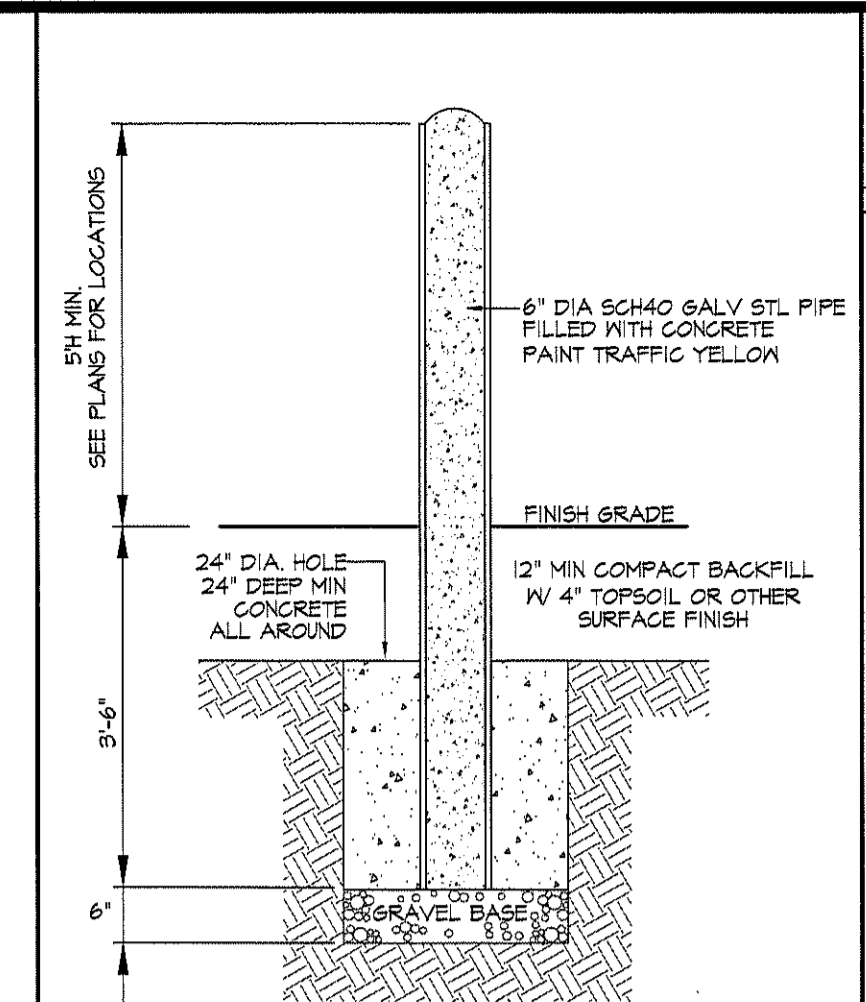
MONOLITHIC POUR SIDEWALK ALONG BLDG FACE



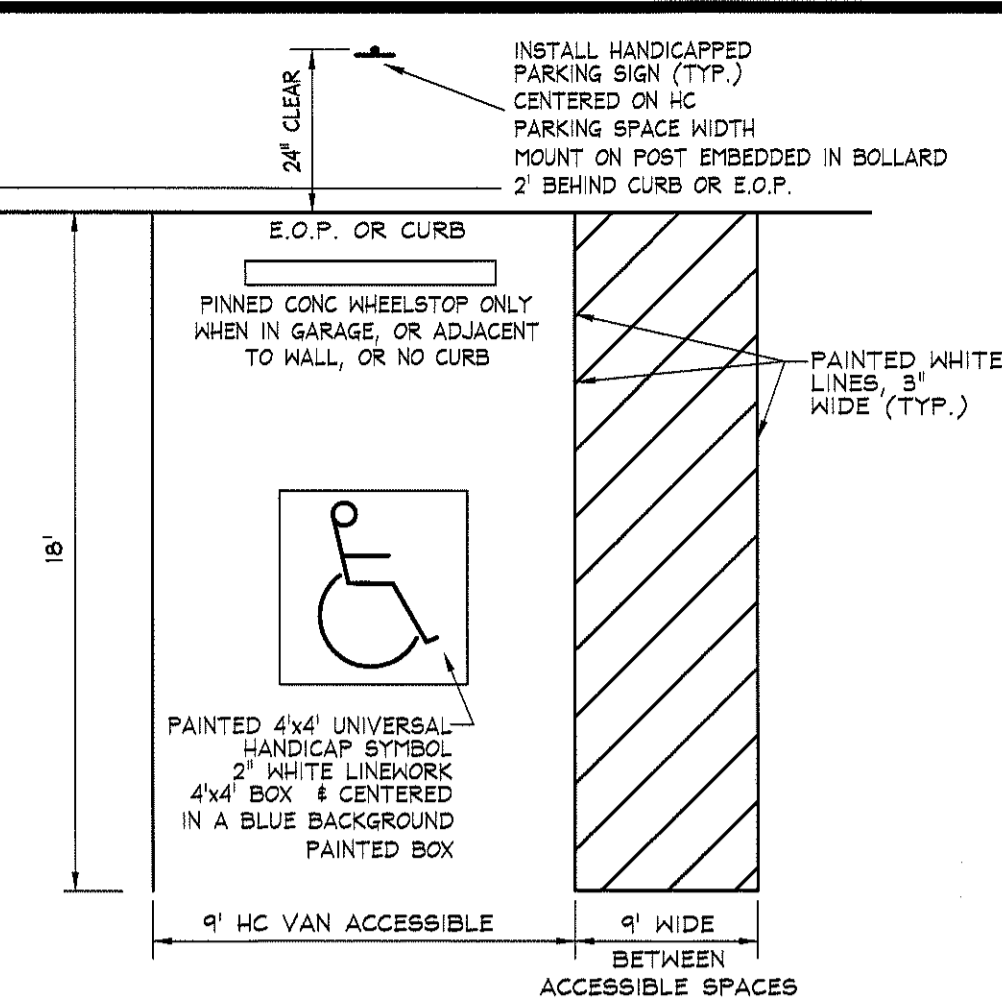
CONCRETE WALK DETAIL (NO CURB)



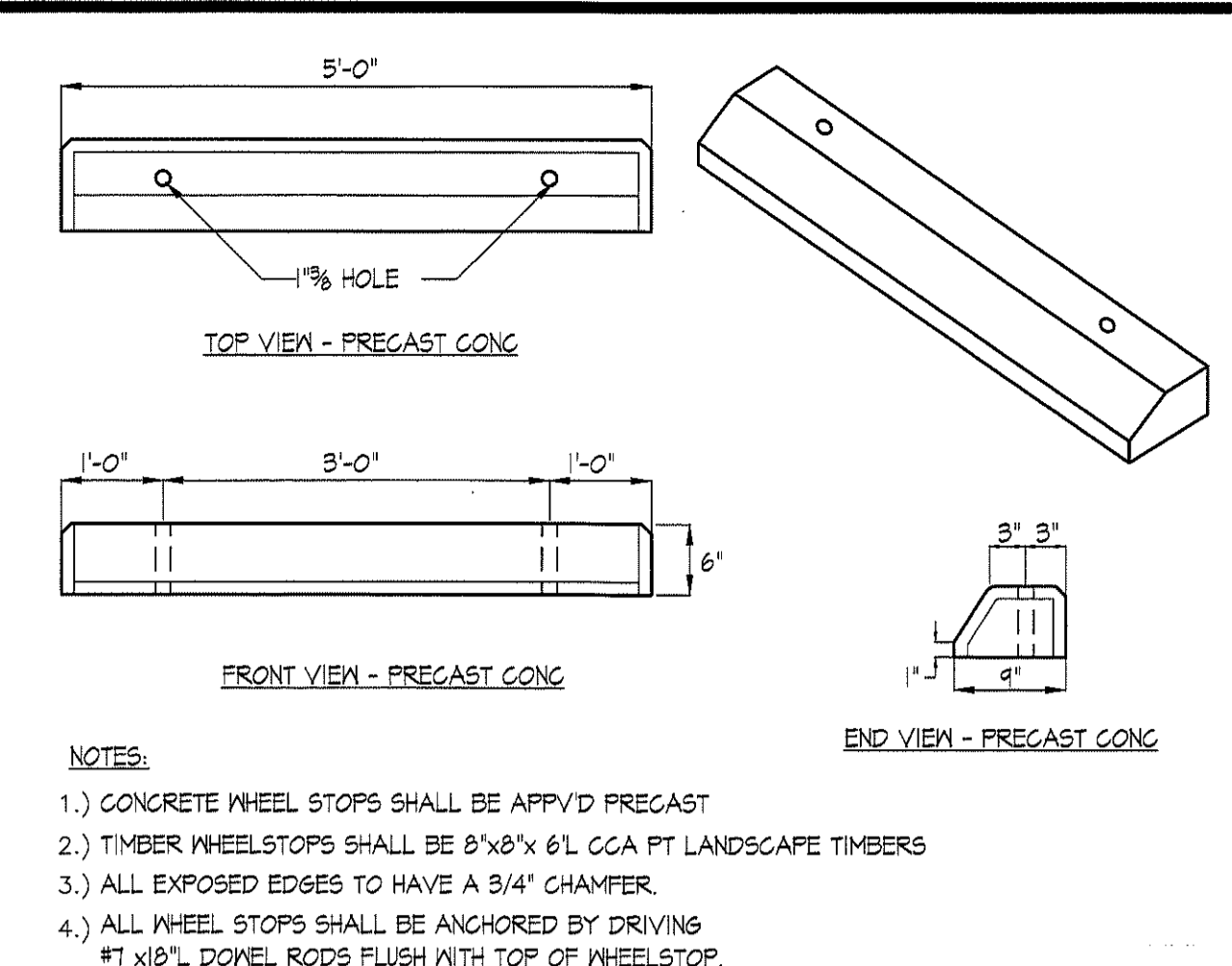
ENCLOSED DUMPSTER PAD DETAIL



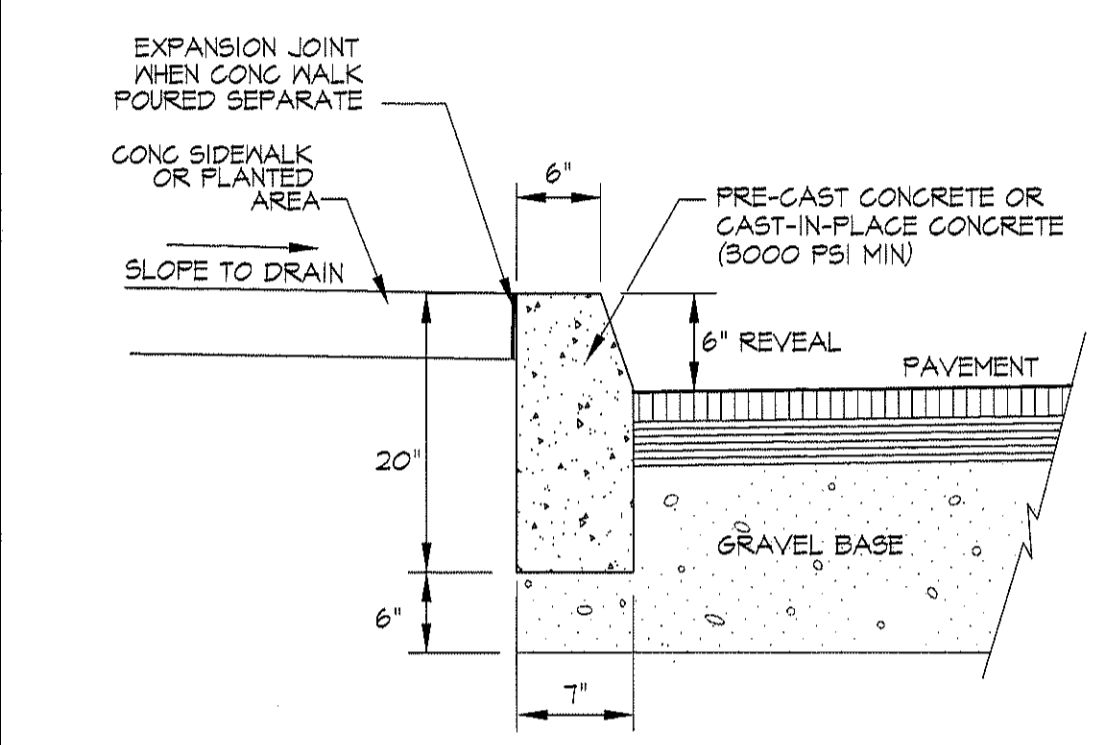
PIPE BOLLARD DETAIL



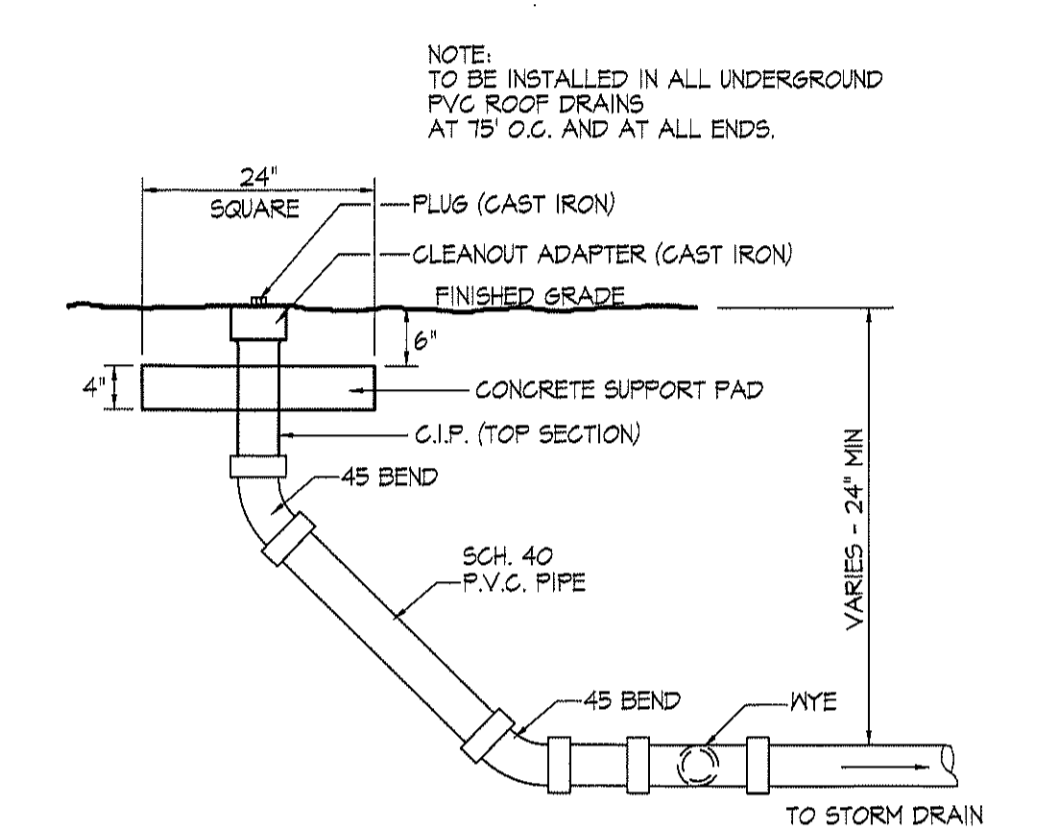
HANDICAP PARKING SPACE DETAIL



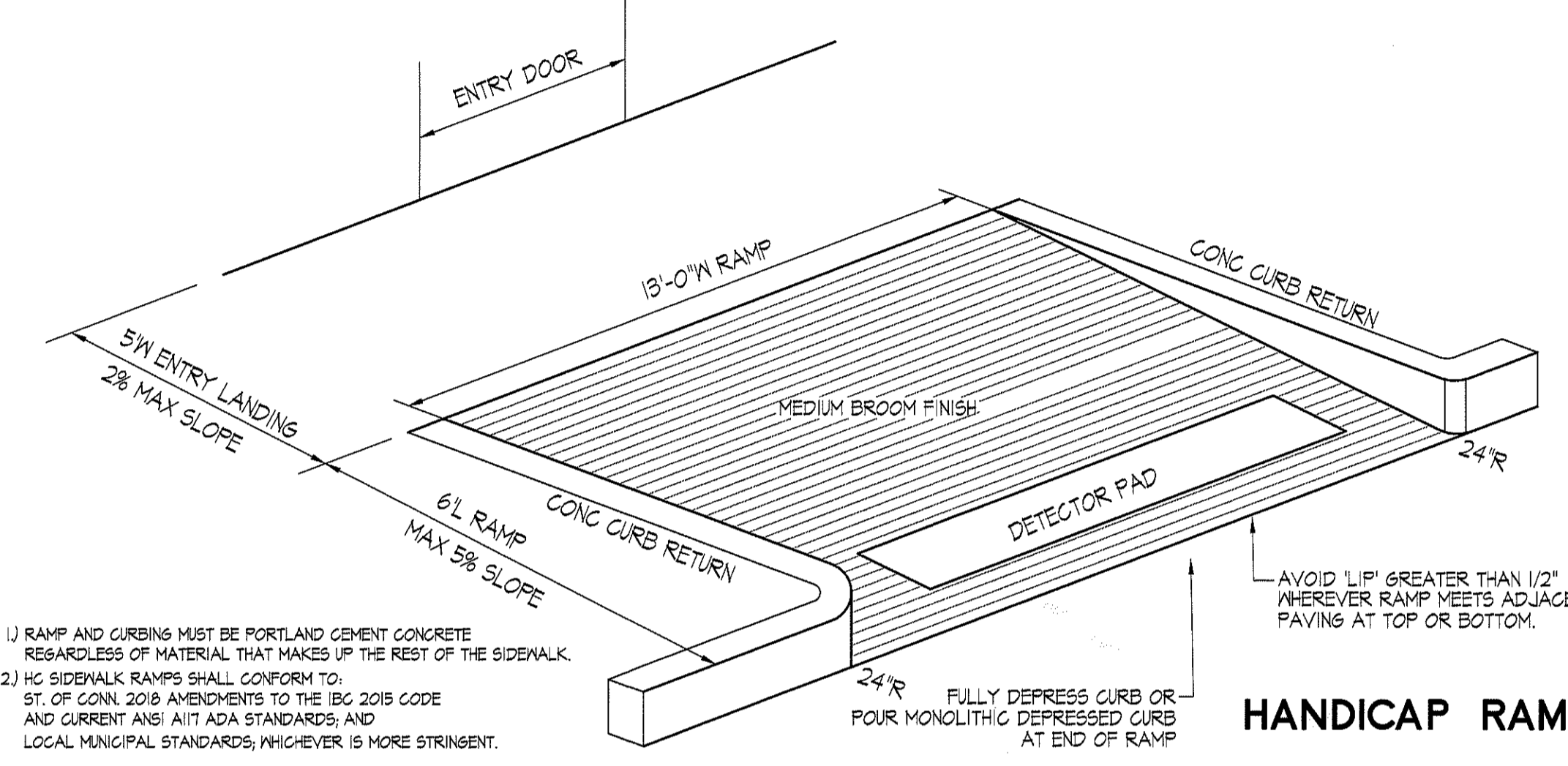
WHEEL STOP DETAILS



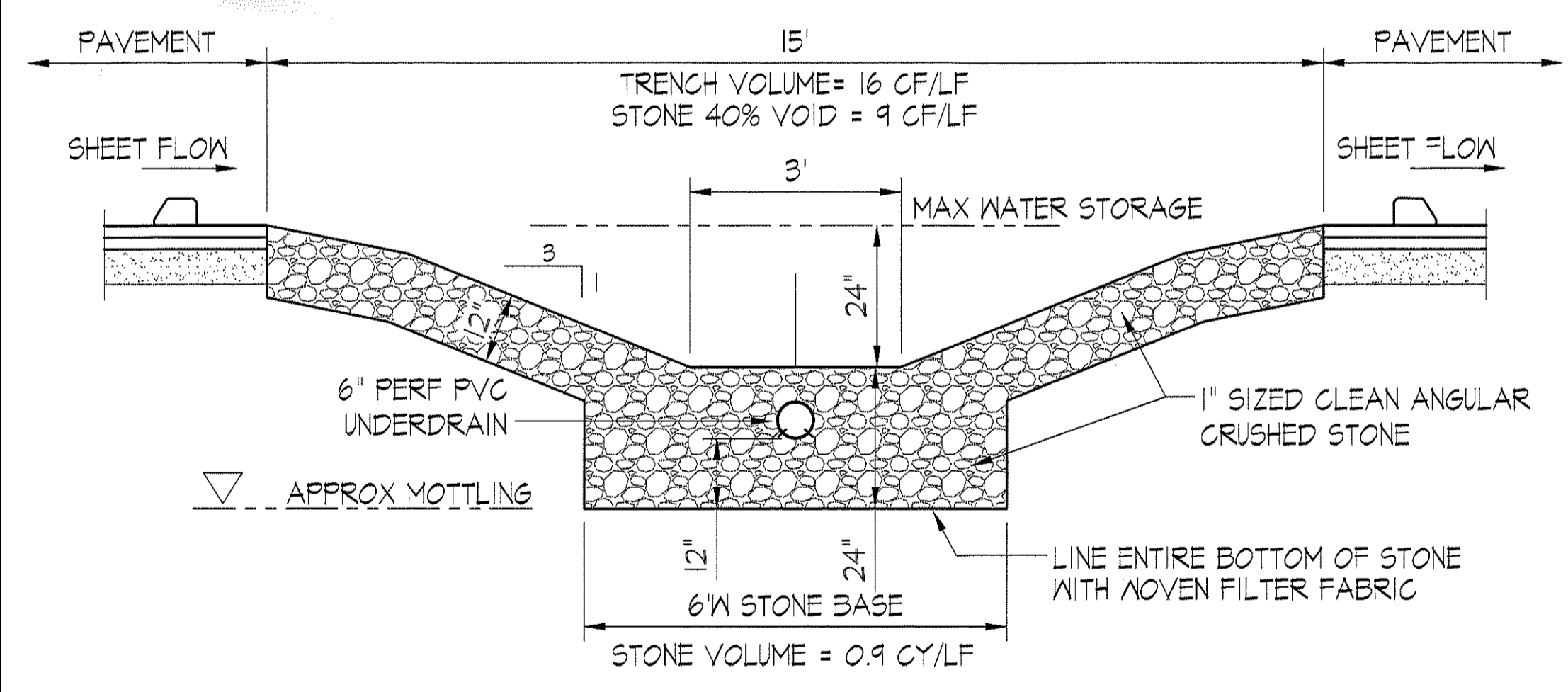
CONCRETE CURB DETAIL



ROOF DRAIN CLEAN-OUT DETAIL



HANDICAP RAMP DETAIL



STONE STORM FILTER TRENCH SECTION

Edward H. Wenke III, PE
 CIVIL - STRUCTURAL ENGINEER
 Licensed In: Connecticut, New York, Rhode Island, Maine, Massachusetts, Maryland, Pennsylvania, Wisconsin, California
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REVISIONS		
LTR	DESCRIPTION	DATE
A	ISSUE FOR SITE PERMIT	02.25.22

SITE CONSTRUCTION DETAILS
PROPOSED CHURCH BUILDING ADDITION
 PREPARED FOR
NORTH STONINGTON BIBLE CHURCH INC.
 FOR PROPERTY LOCATED AT
 100C JEREMY HILL ROAD - MBL 115/0943 - ZONE R-60
 TOWN OF NORTH STONINGTON - NEW LONDON COUNTY - CONNECTICUT

Dwg. No.
C-08
 SHEET 8 OF 16
 Scale:
 AS SHOWN
 Date
 FEBRUARY 2022
 Project No.
 211035

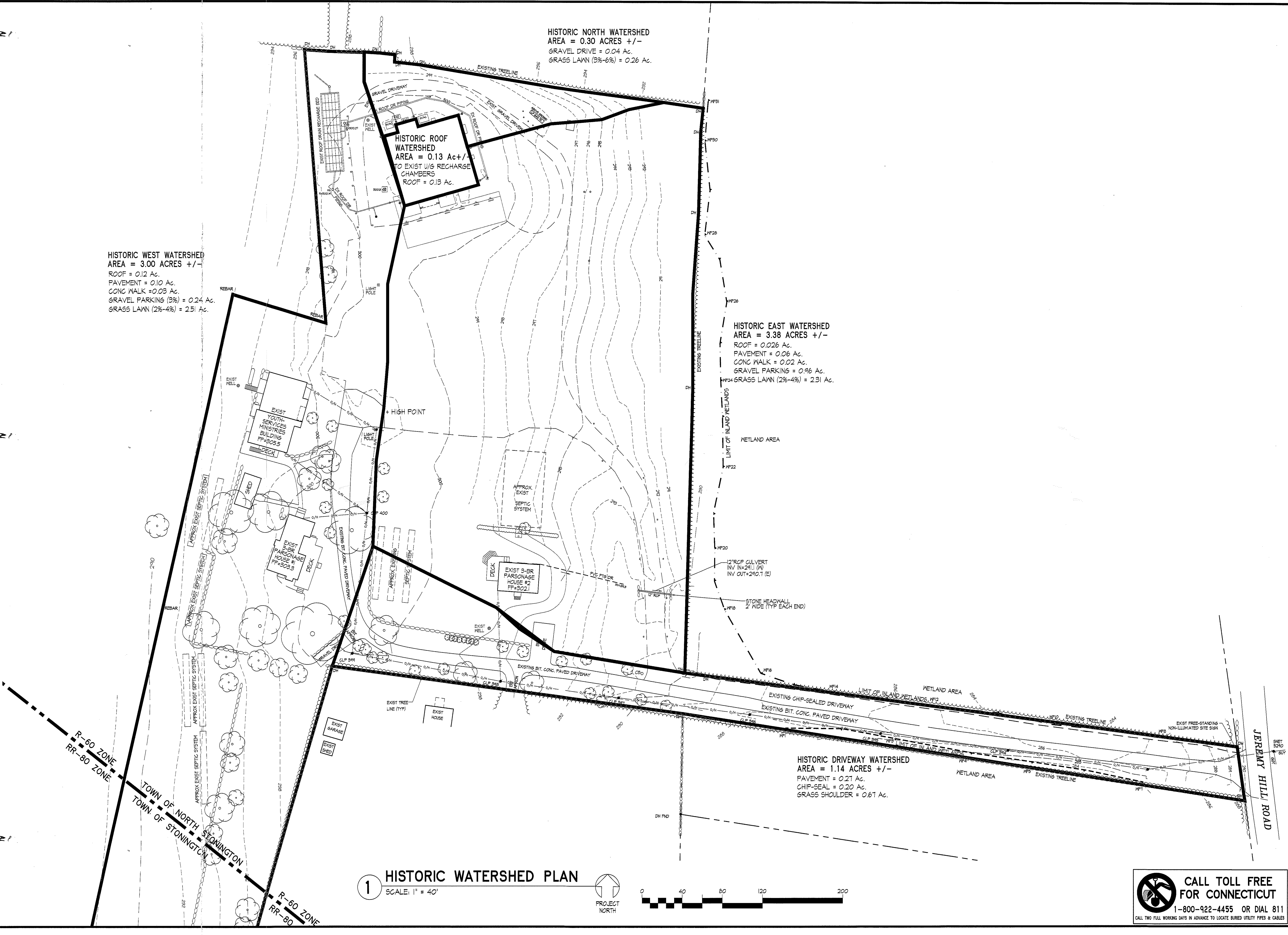
HISTORIC WEST WATERSHED
 AREA = 3.00 ACRES +/-
 ROOF = 0.12 Ac.
 PAVEMENT = 0.10 Ac.
 CONC WALK = 0.03 Ac.
 GRAVEL PARKING (3%) = 0.24 Ac.
 GRASS LAWN (2%-4%) = 2.51 Ac.

HISTORIC NORTH WATERSHED
 AREA = 0.30 ACRES +/-
 GRAVEL DRIVE = 0.04 Ac.
 GRASS LAWN (3%-6%) = 0.26 Ac.

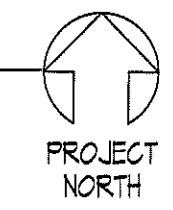
HISTORIC ROOF
 WATERSHED
 AREA = 0.13 Ac +/-
 TO EXIST W/6 RECHARGE
 CHAMBERS
 ROOF = 0.13 Ac.

HISTORIC EAST WATERSHED
 AREA = 3.38 ACRES +/-
 ROOF = 0.026 Ac.
 PAVEMENT = 0.06 Ac.
 CONC WALK = 0.02 Ac.
 GRAVEL PARKING = 0.96 Ac.
 GRASS LAWN (2%-4%) = 2.31 Ac.

HISTORIC DRIVEWAY WATERSHED
 AREA = 1.14 ACRES +/-
 PAVEMENT = 0.21 Ac.
 CHIP-SEAL = 0.20 Ac.
 GRASS SHOULDER = 0.67 Ac.

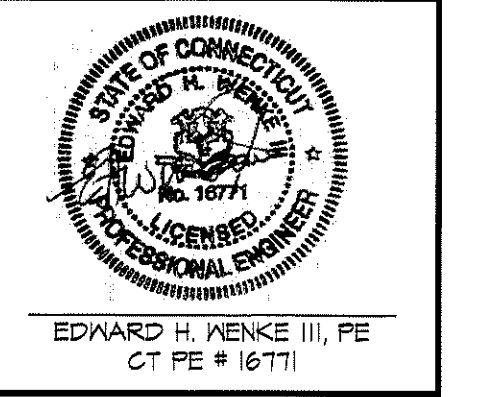


1 HISTORIC WATERSHED PLAN
 SCALE: 1" = 40'



CALL TOLL FREE FOR CONNECTICUT
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REVISIONS

LTR	DESCRIPTION	DATE
A	ISSUE FOR SITE PERMIT	02.25.22

HISTORIC WATERSHED PLAN
PROPOSED CHURCH BUILDING ADDITION
 PREPARED FOR
NORTH STONINGTON BIBLE CHURCH INC.
 FOR PROPERTY LOCATED AT
 100B JEREMY HILL ROAD - MBL 115/0343 - ZONE R-60
 TOWN OF NORTH STONINGTON - NEW LONDON COUNTY - CONNECTICUT

Dwg. No.
WH-01
 SHEET 9 OF 16
 Scale:
 AS SHOWN
 Date
 FEBRUARY 2022
 Project No.
 211035

RUNOFF ANALYSIS SUMMARY - Design Point #4R - ROOF FLOW TO RECHARGERS						
Storm Event	NOAA Atlas #14 Intensity (in/hr)	Developed Run-off Rate "Q" (CFS)	Historic Run-off Rate "Q" (CFS)	Increase/ (Decrease) in Run-off (CFS)	% Change Run-off Rate (%)	
MINIMUM Developed Tc (Minutes) Used -	6.0					
2 year	4.82	1.25	0.60	0.65	109.23%	
10 year	7.26	1.88	0.96	0.92	109.23%	
25 year	8.77	2.49	1.16	1.30	109.23%	
50 year	9.91	3.07	1.47	1.60	109.23%	
100 year	11.10	3.59	1.71	1.87	109.23%	
Watershed Area Change:						
Watershed Area (Historic)	0.13		Impervious Area (Historic)	0.130 Ac.		
Watershed Area (Developed)	0.27		Impervious Area (Developed)	0.272 Ac.		
Net Change in Watershed Area (Acres)	0.14	109.23%	Increase / Decrease	0.142 Ac. Impervious Area		

RUNOFF ANALYSIS SUMMARY - Design Point #2W - FLOW TO WEST						
Storm Event	NOAA Atlas #14 Intensity (in/hr)	Developed Run-off Rate "Q" (CFS)	Historic Run-off Rate "Q" (CFS)	Increase/ (Decrease) in Run-off (CFS)	% Change Run-off Rate (%)	
MINIMUM Developed Tc (Minutes) Used -	6.0					
2 year	4.82	6.17	6.79	(0.62)	-8.12%	
10 year	7.26	9.30	10.23	(0.93)	-8.12%	
25 year	8.77	12.39	13.60	(1.21)	-8.12%	
50 year	9.91	15.33	16.76	(1.43)	-8.12%	
100 year	11.10	17.77	19.58	(1.78)	-8.12%	
Watershed Area Change:						
Watershed Area (Historic)	3.00		Impervious Area (Historic)	0.490 Ac.		
Watershed Area (Developed)	2.90		Impervious Area (Developed)	0.220 Ac.		
Net Change in Watershed Area (Acres)	-0.10	-3.33%	Increase / Decrease	-0.270 Ac. Impervious Area		

RUNOFF ANALYSIS SUMMARY - Design Point #3N - FLOW TO NORTH						
Storm Event	NOAA Atlas #14 Intensity (in/hr)	Developed Run-off Rate "Q" (CFS)	Historic Run-off Rate "Q" (CFS)	Increase/ (Decrease) in Run-off (CFS)	% Change Run-off Rate (%)	
MINIMUM Developed Tc (Minutes) Used -	6.0					
2 year	4.82	0.64	0.64	0.00	0.00%	
10 year	7.26	0.96	0.96	0.00	0.00%	
25 year	8.77	1.27	1.27	0.00	0.00%	
50 year	9.91	1.57	1.57	0.00	0.00%	
100 year	11.10	1.83	1.83	0.00	0.00%	
Watershed Area Change:						
Watershed Area (Historic)	0.30		Impervious Area (Historic)	0.040 Ac.		
Watershed Area (Developed)	0.30		Impervious Area (Developed)	0.040 Ac.		
Net Change in Watershed Area (Acres)	0.00	0.00%	Increase / Decrease	0.000 Ac. Impervious Area		

RUNOFF ANALYSIS SUMMARY - Design Point #1E - FLOW TO EAST						
Storm Event	NOAA Atlas #14 Intensity (in/hr)	Developed Run-off Rate "Q" (CFS)	Historic Run-off Rate "Q" (CFS)	Increase/ (Decrease) in Run-off (CFS)	% Change Run-off Rate (%)	
MINIMUM Developed Tc (Minutes) Used -	6.0					
2 year	4.82	6.30	6.18	(0.12)	-16.79%	
10 year	7.26	10.25	12.32	(2.07)	-16.79%	
25 year	8.77	13.62	16.37	(2.75)	-16.79%	
50 year	9.91	16.79	20.18	(3.39)	-16.79%	
100 year	11.10	19.59	23.54	(3.95)	-16.79%	
Watershed Area Change:						
Watershed Area (Historic)	3.38		Impervious Area (Historic)	1.068 Ac.		
Watershed Area (Developed)	2.88		Impervious Area (Developed)	0.676 Ac.		
Net Change in Watershed Area (Acres)	-0.50	-14.88%	Increase / Decrease	-0.390 Ac. Impervious Area		

DEVELOPED WEST WATERSHED
AREA = 2.90 ACRES +/-
ROOF = 0.12 Ac.
PAVEMENT = 0.07 Ac.
CONC WALK = 0.03 Ac.
GRASS LAWN (2%-4%) = 2.68 Ac.

DEVELOPED NORTH WATERSHED
(NO CHANGE)
AREA = 0.30 ACRES +/-
GRAVEL DRIVE = 0.04 Ac.
GRASS LAWN (3%-6%) = 0.26 Ac.

DEVELOPED ROOF WATERSHED
AREA = 0.28 ACRES +/-
TO U/G RECHARGE CHAMBERS
ROOF = 0.28 Ac.

DEVELOPED EAST WATERSHED
AREA = 2.88 ACRES +/-
ROOF = 0.026 Ac.
PAVEMENT = 0.31 Ac.
CONC WALK = 0.02 Ac.
STONE PARKING = 0.32 Ac.
GRASS LAWN (2%-4%) = 2.20 Ac.

DEVELOPED DRIVEWAY WATERSHED
(NO CHANGE)
AREA = 1.14 ACRES +/-
PAVEMENT = 0.27 Ac.
CHIP-SEAL = 0.20 Ac.
GRASS SHOULDER = 0.67 Ac.

1 DEVELOPED WATERSHED PLAN
SCALE: 1" = 40'



CALL TOLL FREE FOR CONNECTICUT

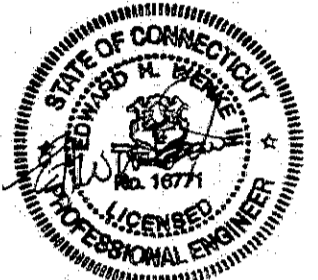
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EDWARD H. WENKE III, PE
CT PE # 16771

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REVISIONS

LTR	DESCRIPTION	DATE
A	ISSUE FOR SITE PERMIT	02.25.22

DEVELOPED WATERSHED PLAN
PROPOSED CHURCH BUILDING ADDITION
PREPARED FOR
NORTH STONINGTON BIBLE CHURCH INC.
FOR PROPERTY LOCATED AT
100B JEREMY HILL ROAD - MBL 115/0343 - ZONE R-60
TOWN OF NORTH STONINGTON - NEW LONDON COUNTY - CONNECTICUT

Dwg. No.

WD-02

SHEET 10 OF 16

Scale: AS SHOWN

Date: FEBRUARY 2022

Project No. 211035

- THIS PLAN AND THE SURVEY IT IS BASED ON HAVE BEEN PREPARED IN ACCORDANCE WITH THE REGULATIONS OF CONNECTICUT STATE AGENCIES, SECTIONS 20-300B-1 THROUGH 20-300B-20. "MINIMUM STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" ENDORSED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. THE TYPE OF SURVEY IS PROPERTY SURVEY, THE BOUNDARY DETERMINATION CATEGORY IS DEPENDENT RESURVEY AND THE HORIZONTAL ACCURACY CONFORMS TO CLASS A-2.
- REFERENCE IS MADE TO TOWN OF NORTH STONINGTON LAND EVIDENCE RECORDS VOLUME 53 AT PAGE 267-269.
- THE PROPERTY SHOWN HEREON IS SUBJECT TO A DRIVEWAY EASEMENT AND USE OF WELL IN FAVOR OF HERBERT A. & JOAN NICKEL AT 100A JEREMY HILL ROAD RECORDED IN VOLUME 28 AT PAGE 253 AND VOLUME 112 AT PAGE 50-51.
- THE SUBJECT PROPERTY IS LOCATED WITHIN THE TOWN OF NORTH STONINGTON R80 AND R80 ZONE DISTRICT.
- "NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAP TOWN OF NORTH STONINGTON, CONNECTICUT NEW LONDON COUNTY PANEL 15 OF 19, COMMUNITY-PANEL NUMBER 090101 0015 B, EFFECTIVE: APRIL 3, 1985 FEDERAL EMERGENCY MANAGEMENT AGENCY" THE PROPERTY IS LOCATED IN ZONE C, AREAS OF MINIMAL FLOODING.
- THE SUBJECT PROPERTY IS SHOWN ON THE TOWN OF NORTH STONINGTON TAX ASSESSOR MAP AS ID: 115/ 2731/ 07 0343 AND HAS AN ASSIGNED STREET ADDRESS OF 100B JEREMY HILL ROAD.
- THE BASIS FOR BEARINGS IS MAGNETIC NORTH FEBRUARY 2004.
- THIS PLAN REPRESENTS THE LOCATION OF THE BOUNDS AND SITE CONDITIONS DETERMINED BY FIELD SURVEYS CONDUCTED IN FEBRUARY 2004. RECORD TITLE AND ADJOINER INFORMATION WAS OBTAINED FROM TAX ASSESSOR AND LAND EVIDENCE RECORDS IN FEBRUARY 2004.

- TOWN OF NORTH STONINGTON GIS MAPPING SYSTEM.
- ROYDEN A. AND NORMA H. WILKINSON JEREMY HILL ROAD NORTH STONINGTON, CONN. SCALE 1"=100 FT JUNE 22, 1964 H. A. EMERSON LAND SURVEYOR 3012.
- PLAN SHOWING PROPOSED NURSERY SCHOOL ON PROPERTY OF THE NORTH STONINGTON BIBLE CHURCH, INC. JEREMY HILL ROAD NORTH STONINGTON, CONNECTICUT SCALE 1"=40' NOVEMBER 1984 CHARLES E. ELIAS, PE.

REVISION TABLE

DATE	REVISION	BY
3/25/04	REV A - NEW WF	TJ
10/01/04	REV B - EDITS	TJ

PROPERTY/BOUNDARY SURVEY
OF
100B JEREMY HILL ROAD
NORTH STONINGTON, CONNECTICUT

PREPARED FOR
NORTH STONINGTON BIBLE CHURCH, INC.

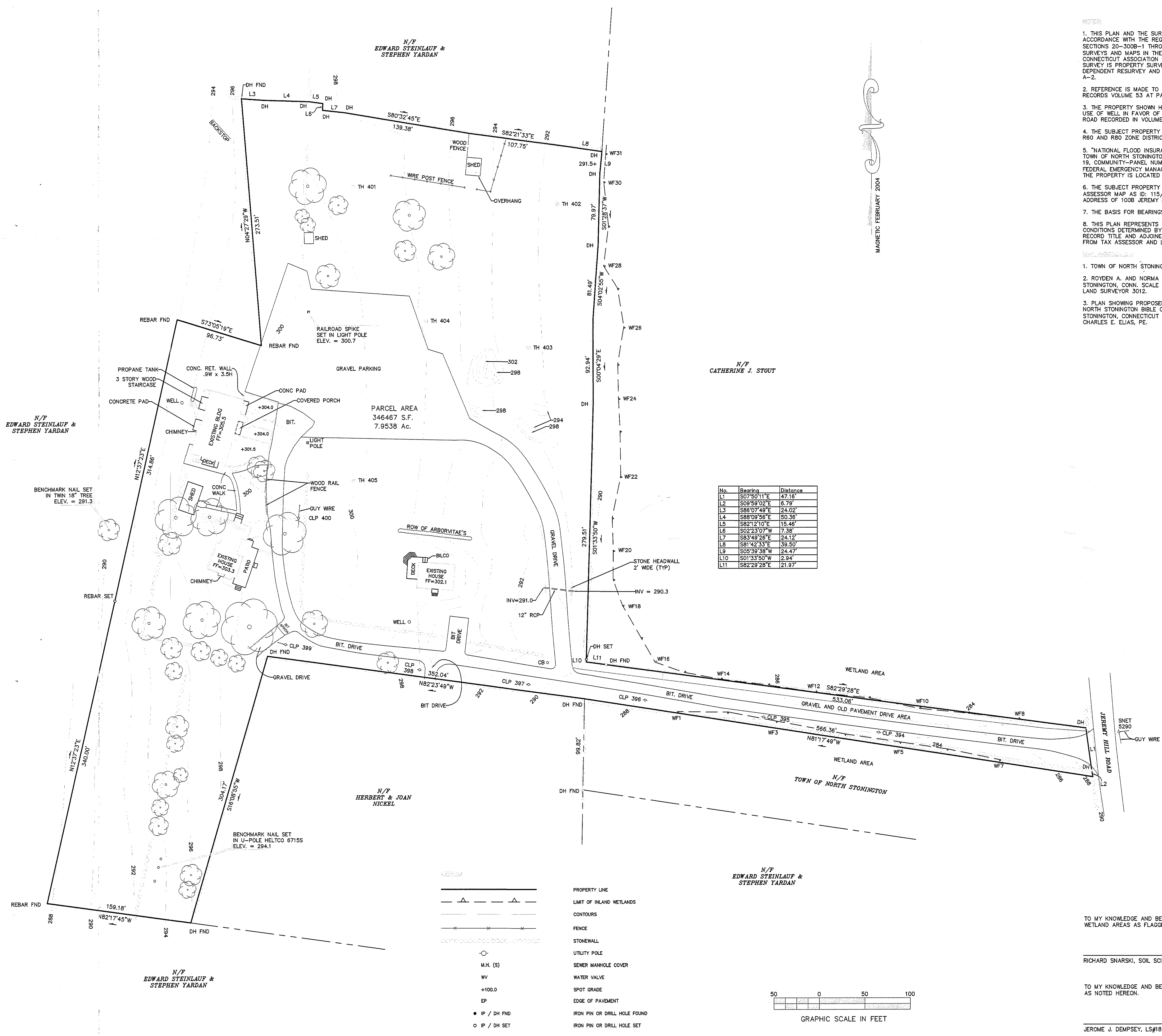
SHEET No.:
SHT 11 OF 16

SCALE:
1" = 50'

DATE:
2/24/2004

PROJECT No.:
04-02-05

FILE: JDA2004/JDA/Bible_Church
SURVEYED BY: JTD
DRAWN BY: TJ



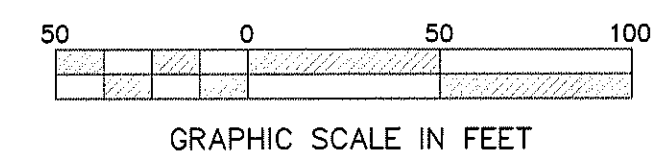
TO MY KNOWLEDGE AND BELIEF, THIS MAP ACCURATELY DEPICTS THE WETLAND AREAS AS FLAGGED IN THE FIELD.

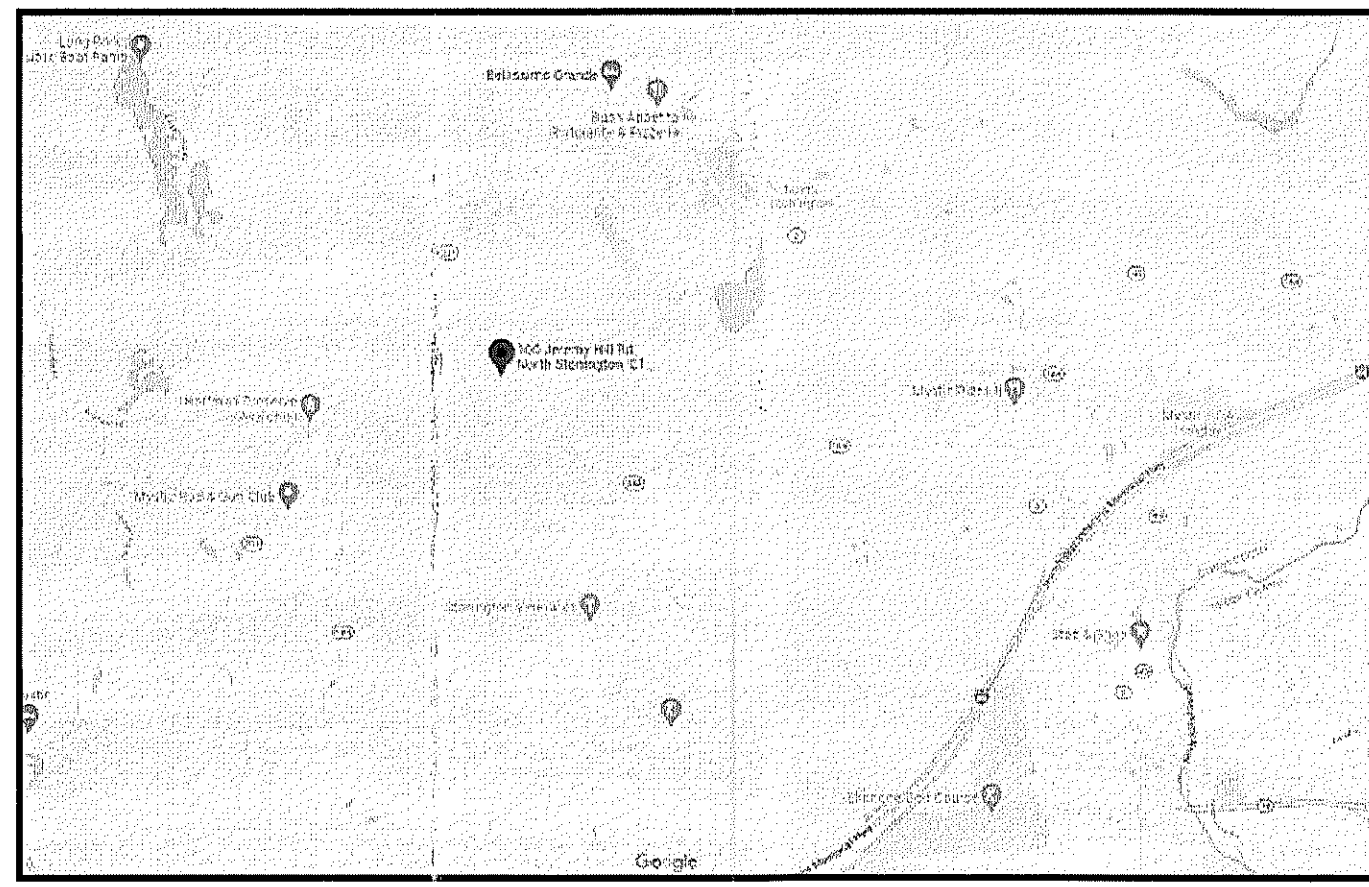
RICHARD SNARSKI, SOIL SCIENTIST #1975

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

JEROME J. DEMPSEY, LS#18141

MAGNETIC FEBRUARY 2004





LOCATION MAP



DAVID ATKINSON ARCHITECT, LLC
ARCHITECTURE CODE CONSULTATION
1184 RIVER ROAD MYSTIC, CT 06355 (860) 334 5643

NORTH STONINGTON BIBLE CHURCH

100C JEREMY HILL ROAD

NORTH STONINGTON, CT 06359

BUILDING CODE STUDY	2018 CT BUILDING CODE	2015 IBC WITH CT AMENDMENTS	2018 CT FIRE SAFETY CODE
903.2.1.3	FIRE SUPPRESSION SYSTEM REQUIRED IN A-3 OCCUPANCY WHEN: FIRE AREA OVER 12,000 SF OCCUPANT LOAD OVER 300 OCCUPANCY ON 2 ND FLOOR (MEZZANINE NOT INCLUDED) SUPPRESSION SYSTEM NOT PROVIDED		
907.2.1	FIRE ALARM/DETECTION SYSTEMS REQUIRED IN A-3 OCCUPANCY WHEN: OCCUPANT LOAD OVER 300 NOT REQUIRED, HOWEVER FIRE ALARM PROVIDED		
T 1004.1.2	OCCUPANT LOADS A-3 ASSEMBLY 7 SF NET CONCENTRATED 15 SF NET UNCONCENTRATED (TABLES AND CHAIRS)		
EXISTING: 1 STORY	5,632 SF 1 ST FLOOR/ 440 SF MEZZANINE		
PROPOSED: 1 STORY	5,390 SF ADDITION 11,462 SF TOTAL (INCL. MEZZANINE)		
EXISTING: 1 STORY 30 FEET HIGH			
PROPOSED: 1 STORY 20 FEET HIGH			
CODE SECTION	INFORMATION		
303.4	A-3 ASSEMBLY GROUP: PLACE OF WORSHIP		
303.1/305.1.1	ACCESSORY RELIGIOUS EDUCATIONAL ROOMS W/ OCCUPANT LOAD OF LESS THAN 100 ARE NOT SEPARATE OCCUPANCIES		
T504.3	ALLOWABLE BUILDING HEIGHT TYPE II B CONSTRUCTION: A-3 55 FEET NON SPRINKLERED		
	TYPE VB CONSTRUCTION A-3 40 FEET NON SPRINKLERED	1005	
T504.4	ALLOWABLE NUMBER OF STORIES TYPE II B CONSTRUCTION: A-3 2 STORIES		
	TYPE VB CONSTRUCTION A-3 1 STORY	1006.3.1	
T506.2	ALLOWABLE BUILDING AREA TYPE II B CONSTRUCTION: A-3 9,500 SF NON SPRINKLERED	CHAPTER II	ACCESSIBILITY NITRE EXISTING AND NEW CONSTRUCTION ACCESSIBLE EXCEPT MEZZANINE. NEW AND EXISTING RESTROOMS ACCESSIBLE
	TYPE VB CONSTRUCTION A-3 6,000 SF NON SPRINKLERED	2902.1	MINIMUM NUMBER OF PLUMBING FIXTURES REQUIRED A-3 OCCUPANCY MAXIMUM OCCUPANCY 240 AS PER ABOVE ASSUME 300 OCCUPANTS 150 MALE/ 150 FEMALE
602.2	EXISTING CHURCH CONSTRUCTION TYPE II B NONCOMBUSTIBLE MATERIALS/UNPROTECTED		TOILETS REQUIRED 1/50 MALE; 2 REQUIRED, 5 PROVIDED 1/75 FEMALE; 4 REQUIRED, 5 PROVIDED
	PROPOSED CHURCH CONSTRUCTION TYPE V B COMBUSTIBLE MATERIALS/UNPROTECTED		LAVATORIES REQUIRED 1/200 MALE; 2 REQUIRED, 3 PROVIDED 1/200 FEMALE; 2 REQUIRED, 3 PROVIDED
T601	FIRE RESISTANCE RATING TYPE II B CONSTRUCTION: NON-COMBUSTIBLE UNPROTECTED 0 HOUR RATING REQUIRED TYPE VB CONSTRUCTION: COMBUSTIBLE UNPROTECTED 0 HOUR RATING REQUIRED		TWO ADDITIONAL UNISEX FAMILY RESTROOMS PROVIDED
T06.1	FIRE WALLS SEPARATE BUILDINGS		
TT06.4	FIRE WALL FIRE RESISTANCE RATING GROUP A OCCUPANCY 2 HOUR RATING (TYPE IIB OR VB CONSTRUCTION)		
TT07.3.10	FIRE RESISTANCE REQUIREMENT FOR FIRE BARRIERS GROUP A OCCUPANCY 2 HOUR RATING (TYPE IIB OR VB CONSTRUCTION)		

GENERAL NOTES

- ALL WORK TO BE IN CONFORMANCE WITH 2018 CT STATE BUILDING CODE, INCLUDING 2015 IBC, 2015 IMC, 2015 IPC, 2015 IECC, 2015 NEC (NFPA 70) AND THE 2018 CT ERRATA TO THE LISTED CODES, AND THE 2018 CT FIRE SAFETY CODE INCLUDING THE 2015 INTERNATIONAL FIRE CODE.
- VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD PRIOR TO THE WORK. REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO CONSTRUCTION.
- ALL WORK TO BE PERFORMED IN A PROFESSIONAL WORK MAN LIKE MANNER TO INDUSTRY ACCEPTED CONSTRUCTION STANDARDS FOR QUALITY CONSTRUCTION.
- DRAWINGS SHOW INTENDED RESULT OF CONSTRUCTION AND ARE NOT INTENDED TO SHOW EVERY DETAIL AND CONDITION NECESSARY FOR SUCCESSFUL COMPLETION OF CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR ALL MEANS AND METHODS OF CONSTRUCTION, INCLUDING ALL NECESSARY MATERIALS, EQUIPMENT, TOOLS, CONSTRUCTION TECHNIQUES, ETC.
- ALL MANUFACTURED PRODUCTS AND LUMBER TO BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
- ALL SPECIFIC COLORS OF FINISHES INCLUDING PAINT, SIDING TILE, ETC. TO BE SELECTED BY OWNER FROM MANUFACTURER'S STANDARD COLOR SAMPLES PROVIDED BY CONTRACTOR EXCEPT AS OTHERWISE REQUIRED BY THE SITE PLAN/ARCHITECTURAL DESIGN REVIEW BOARD APPROVAL.
- CONTRACTOR RESPONSIBLE FOR ALL ONSITE SAFETY AND OSHA COMPLIANCE.
- CONTRACTOR RESPONSIBLE FOR COORDINATION OF ALL MECHANICAL AND ELECTRICAL TRADE WORK WITH GENERAL CONSTRUCTION WORK.

NORTH STONINGTON BIBLE CHURCH 2-1-2022
PROJECT DESCRIPTION

THE PROJECT CONSISTS OF THE CONSTRUCTION OF A SINGLE-STORY ADDITION TO THE EXISTING CHURCH BUILDING. THE EXISTING BUILDING IS 5,632 SF ON ONE FLOOR WITH A 440 SF MEZZANINE. THE EXISTING CONSTRUCTION HAS A SANCTUARY, LOBBY, THREE CLASSROOMS AND RESTROOMS. THE EXISTING BUILDING IS CONSTRUCTED WITH METAL STUDS AND TRUSSES, WITH VINYL SIDING AND AN ASPHALT SHINGLED ROOF.

THE NEW CONSTRUCTION PROPOSED IS 5,390 SF ON ONE FLOOR, WITH NO MEZZANINE. THE PROPOSED CONSTRUCTION WILL HOUSE A NEW ENTRY LOBBY, FELLOWSHIP HALL, FOUR CLASSROOMS, TWO FAMILY STYLE RESTROOMS AND AN EMPTY SPACE FOR A KITCHEN TO OUTFITTED AT A LATER DATE. THE PROPOSED NEW CONSTRUCTION WILL BE WOOD FRAMED WALLS AND TRUSSED, WITH ASPHALT SHINGLE ROOF AND VINYL SIDING.

THERE WILL BE A TWO-HOUR RATED FIRE WALL BETWEEN THE NEW AND EXISTING CONSTRUCTION, SEPARATING THE CONSTRUCTION INTO TWO SEPARATE BUILDINGS, BOTH A-3 ASSEMBLY GROUPS. THERE WILL BE A FULL FIRE ALARM SYSTEM. THERE IS NO MUNICIPAL WATER ON SITE, SO NO SPRINKLER SYSTEM WILL BE PROVIDED. CODE INFORMATION IS PROVIDED FOR BOTH THE EXISTING AND PROPOSED CONSTRUCTION TO INDICATE CONFORMANCE.

THE BUILDING IS NON SIMULTANEOUSLY OCCUPIED. THE EXISTING SANCTUARY AND NEW FELLOWSHIP HALL WILL NOT BE OCCUPIED AT THE SAME TIME. THE SANCTUARY WILL BE OCCUPIED FOR WORSHIP SERVICES, AND THE FELLOWSHIP HALL WILL BE OCCUPIED AT TIMES OTHER THAN WORSHIP FOR COMMUNAL GATHERINGS.

DRAWING LIST

- ARCHITECTURAL
- A-100 TITLE SHEET
 - A-101 FLOOR PLAN
 - A-102 ROOF PLAN
 - A-103 WALL SECTIONS
 - A-201 ELEVATIONS
 - A-301 ENLARGED PLANS
 - A-302 ENLARGED RESTROOM PLANS
 - A-401 DOOR SCHEDULE & DETAILS
 - A-402 WINDOW & FINISH SCHEDULES & DETAILS
 - A-501 REFLECTED CEILING PLAN

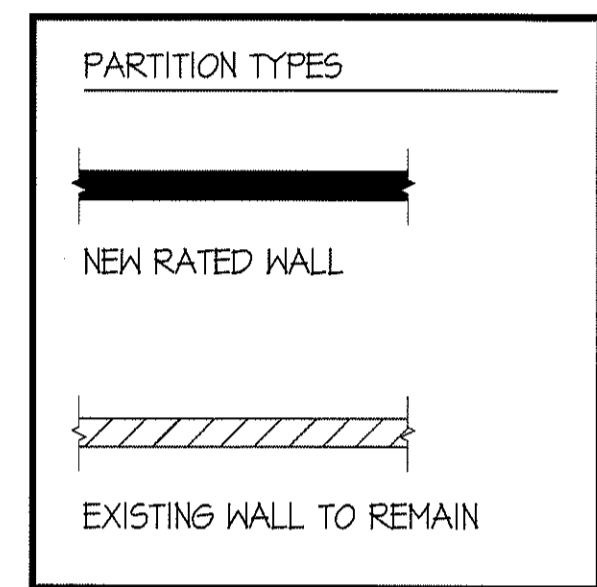
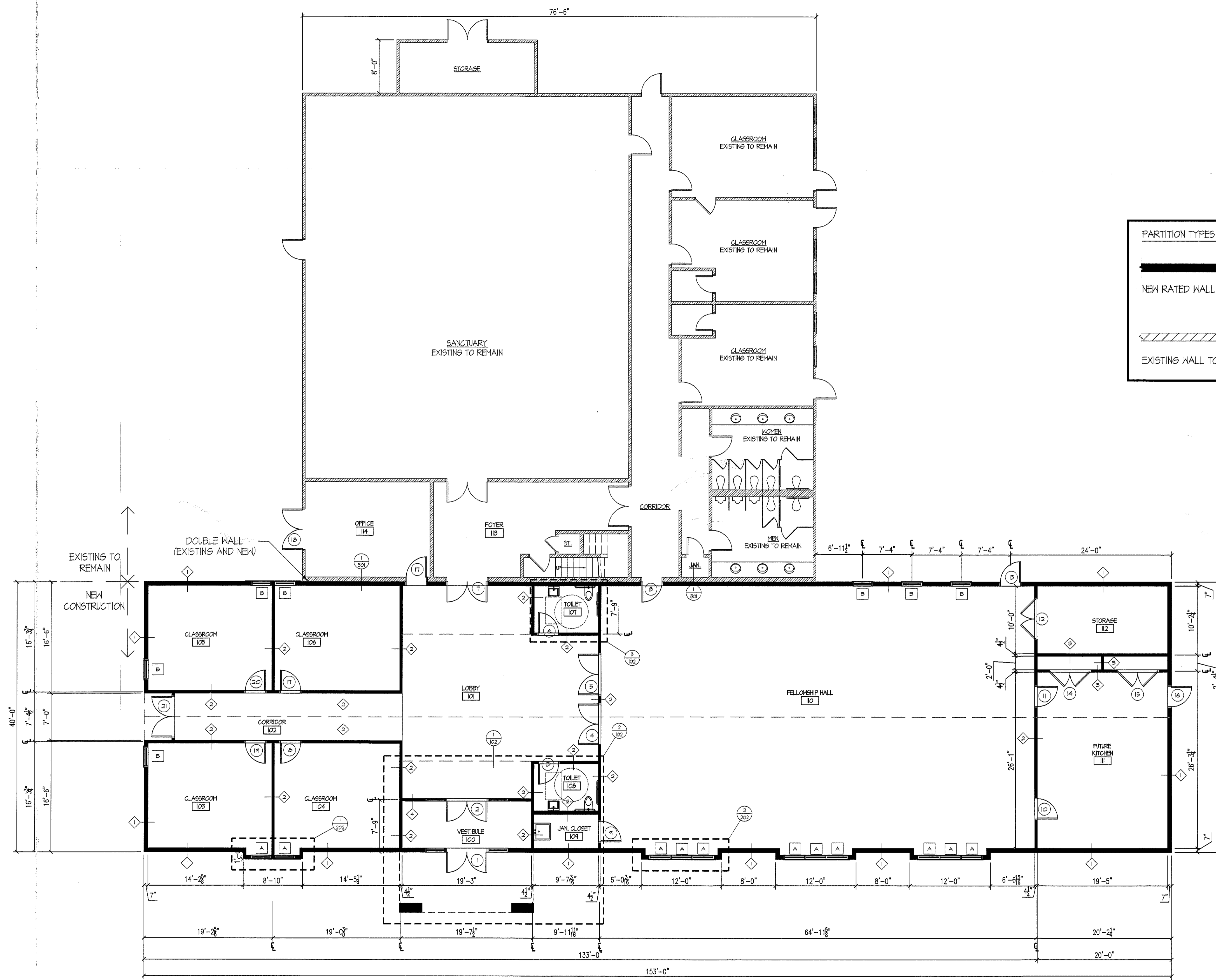
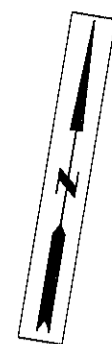
- STRUCTURAL
- S-1 FOUNDATION PLAN
 - S-2 ROOF FRAMING PLAN
 - S-3 SECTIONS AND DETAILS
 - S-4 SECTIONS AND DETAILS

**PRELIMINARY
NOT FOR
CONSTRUCTION**

DATE: 1/31/2022
SCALE: NTS
REVISED: 1

TITLE, CODE REVIEW & DRAWING LIST
NORTH STONINGTON BIBLE CHURCH

100C JEREMY HILL ROAD, NORTH STONINGTON, CT. 06359



A FLOOR PLAN
C1

SCALE: 1/8" = 1'-0"

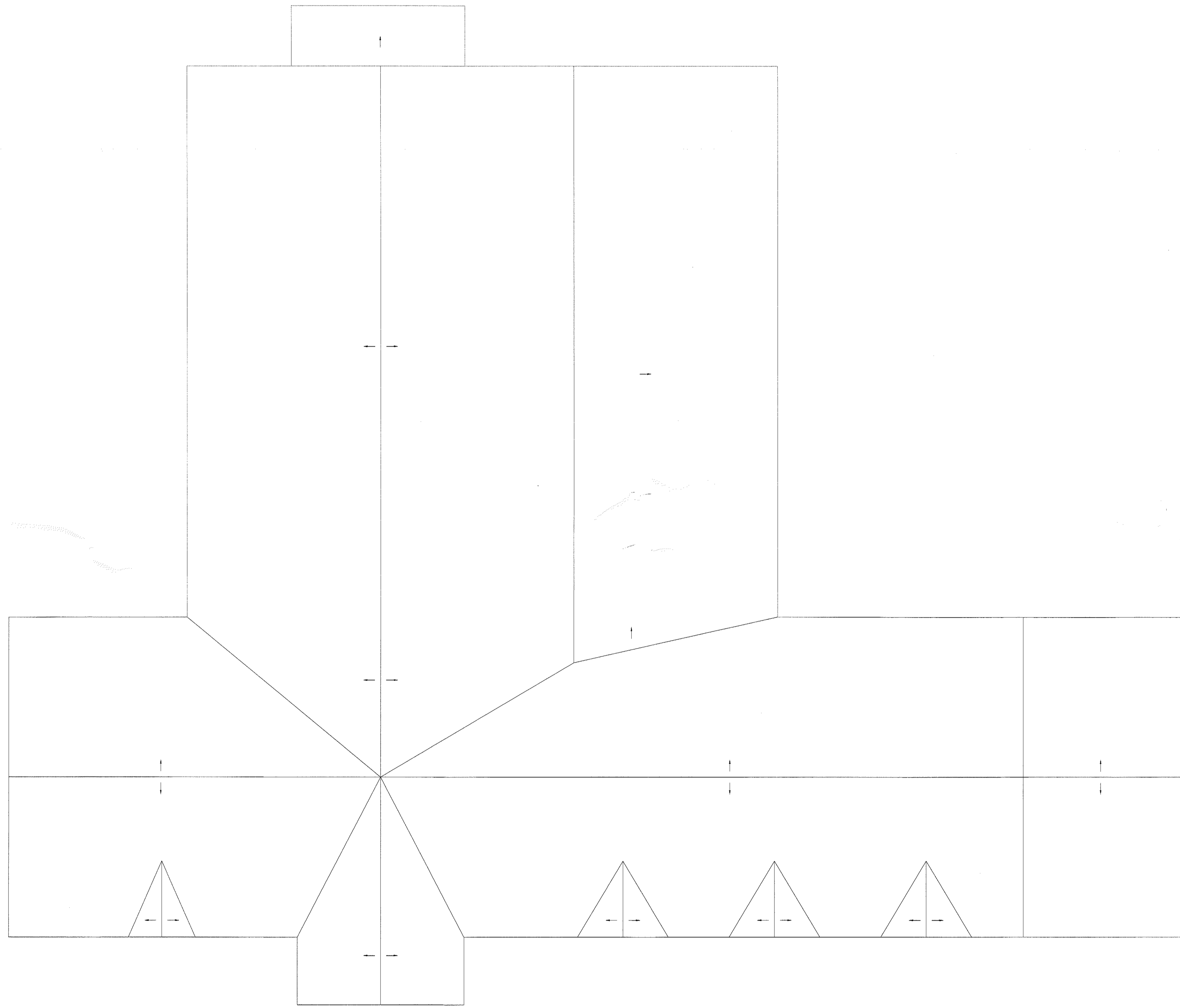
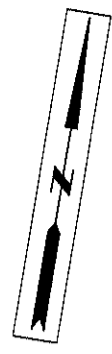
**PRELIMINARY
NOT FOR
CONSTRUCTION**

DAVID ATKINSON ARCHITECT, LLC
ARCHITECTURE CODE CONSULTATION
1184 RIVER ROAD MYSTIC, CT 06355 (860) 334 5643

DATE: 1/31/2022
SCALE: 1/8" = 1'-0"
REVISED: -

FLOOR PLAN
NORTH STONINGTON BIBLE CHURCH
100 JEREMY HILL ROAD, CONNECTICUT 06354

A-101
SHT 13 OF 16



A ROOF PLAN
102

SCALE: 1/8" = 1'-0"

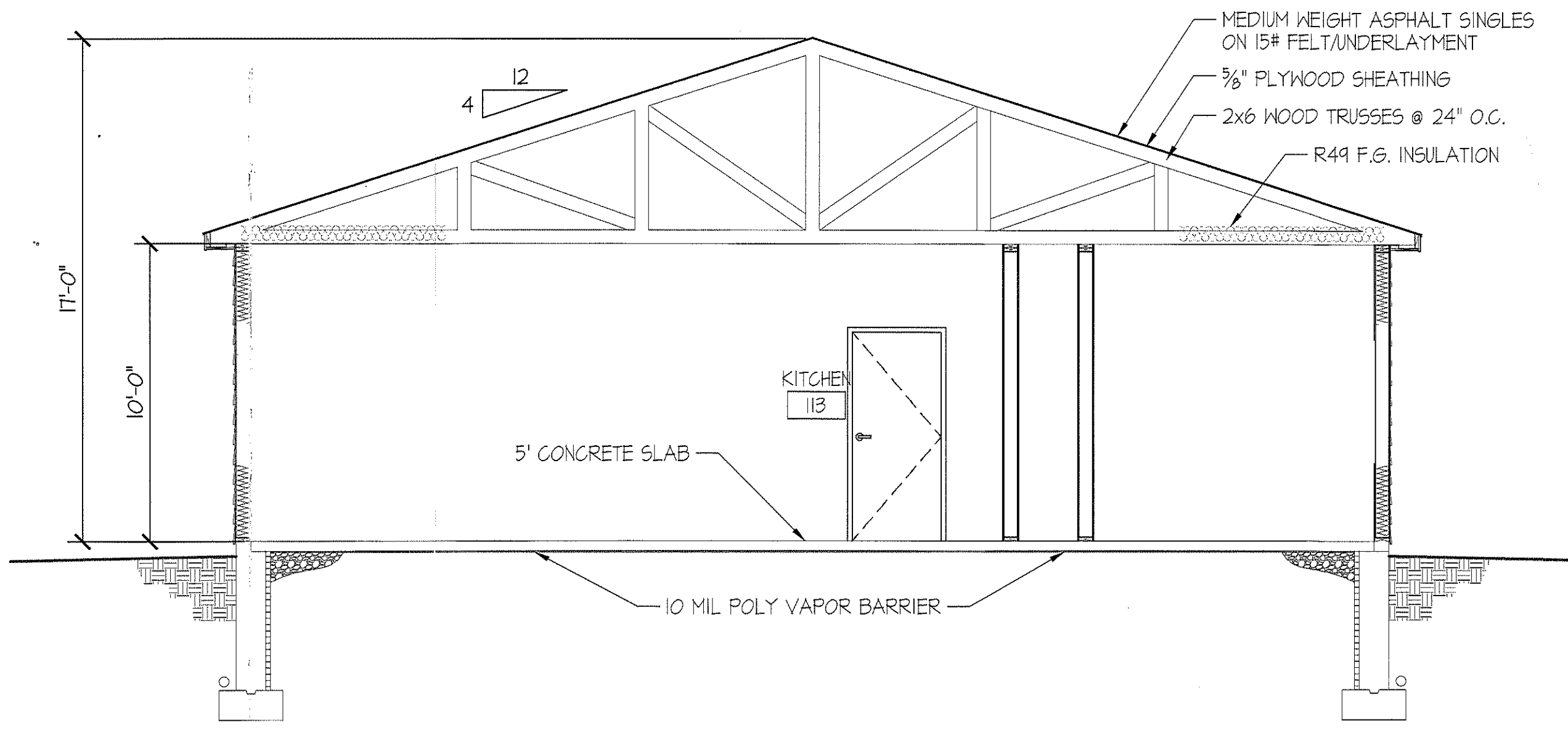
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NOT FOR
CONSTRUCTION**

DAVID ATKINSON ARCHITECT, LLC
ARCHITECTURE
1184 RIVER ROAD MTSTIC, CT 06355 (860) 334 5643
CODE CONSULTATION

DATE: 1/31/2022
SCALE: NTS
REVISED: -

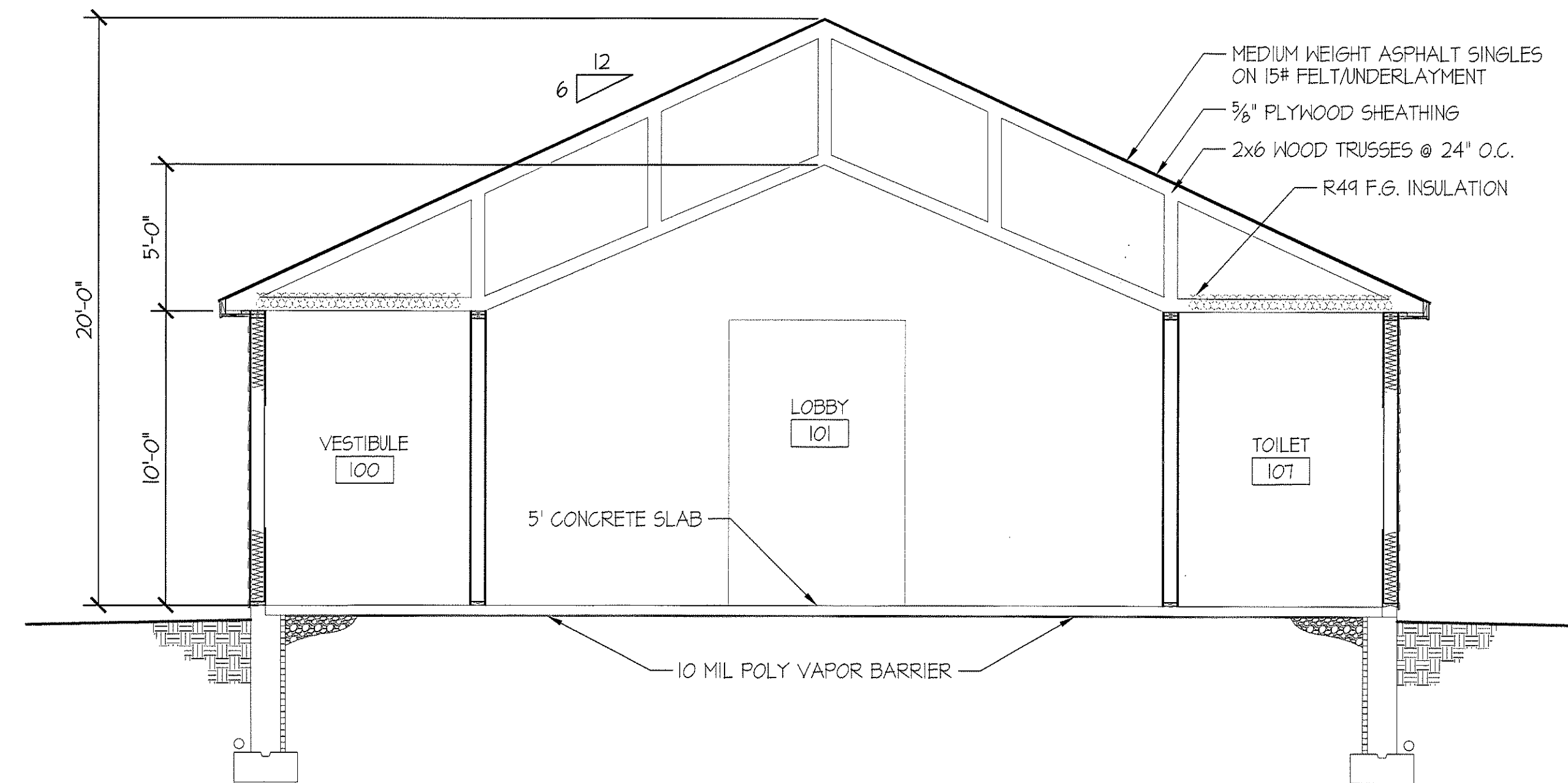
ROOF PLAN
NORTH STONINGTON BIBLE CHURCH
100 JEREMY HILL ROAD, CONNECTICUT 06354

A-102
SHT 14 OF 16



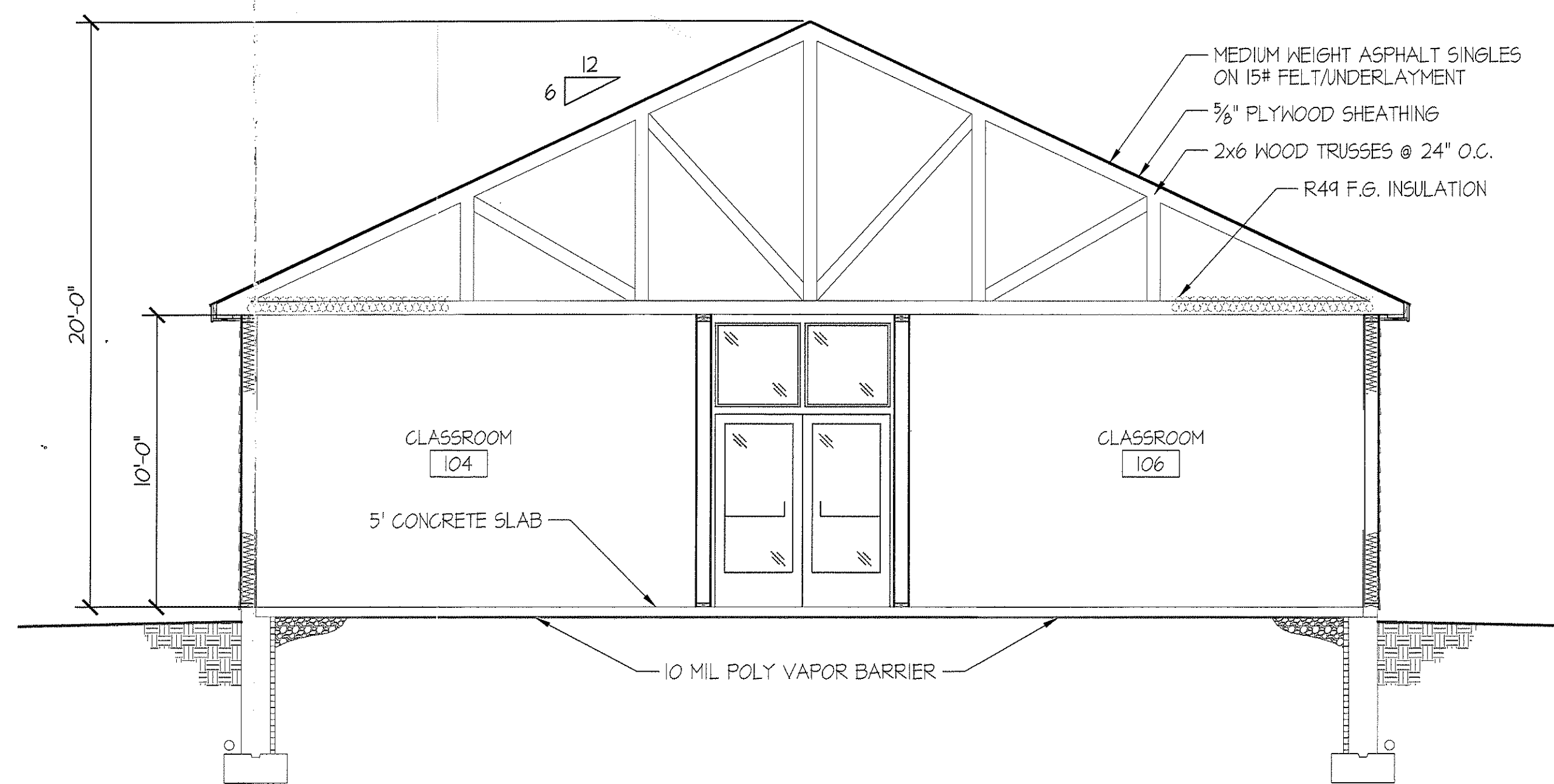
1 SECTION THROUGH KITCHEN
A-103

SCALE: 1/4" = 1'-0"



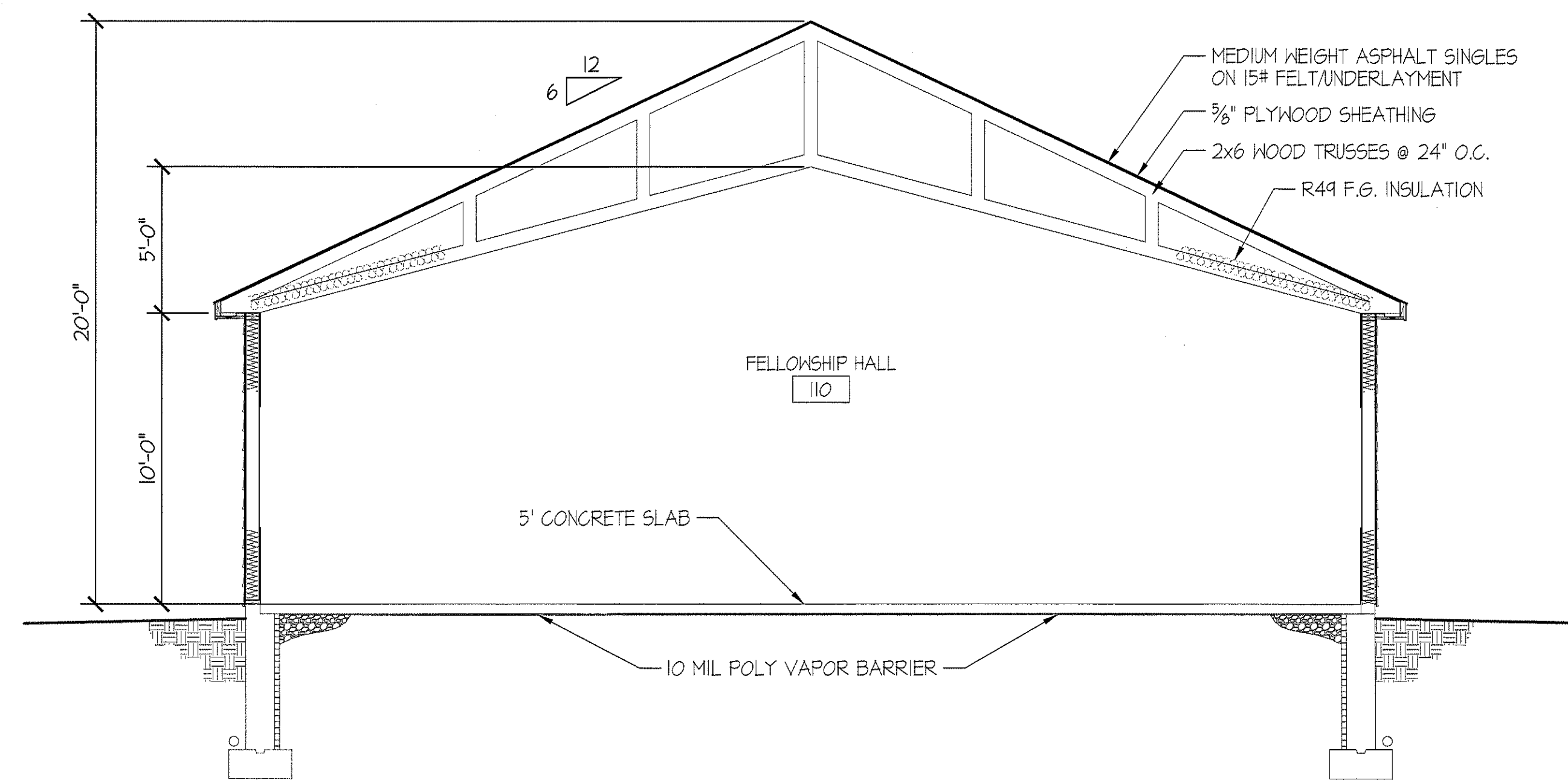
2 SECTION THROUGH LOBBY
A-103

SCALE: 1/4" = 1'-0"



3 SECTION THROUGH CLASSROOMS
A-103

SCALE: 1/4" = 1'-0"

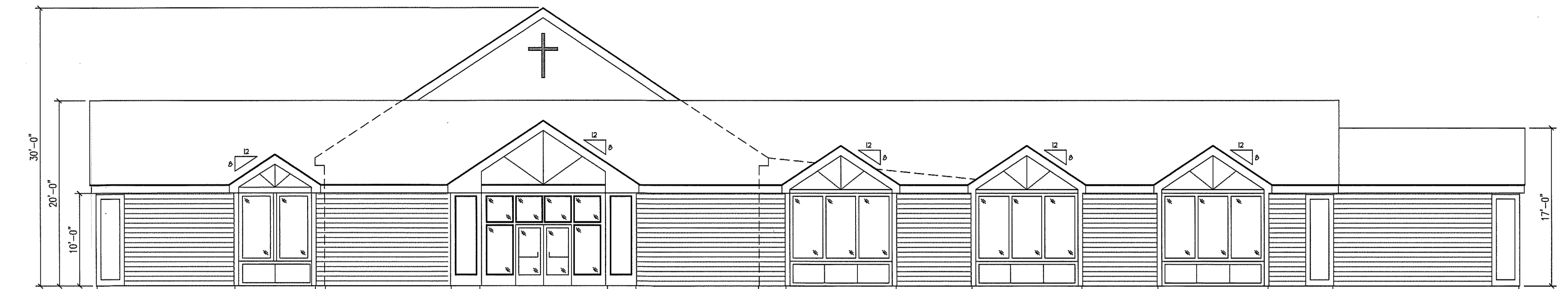


4 SECTION THROUGH FELLOWSHIP HALL
A-103

SCALE: 1/4" = 1'-0"

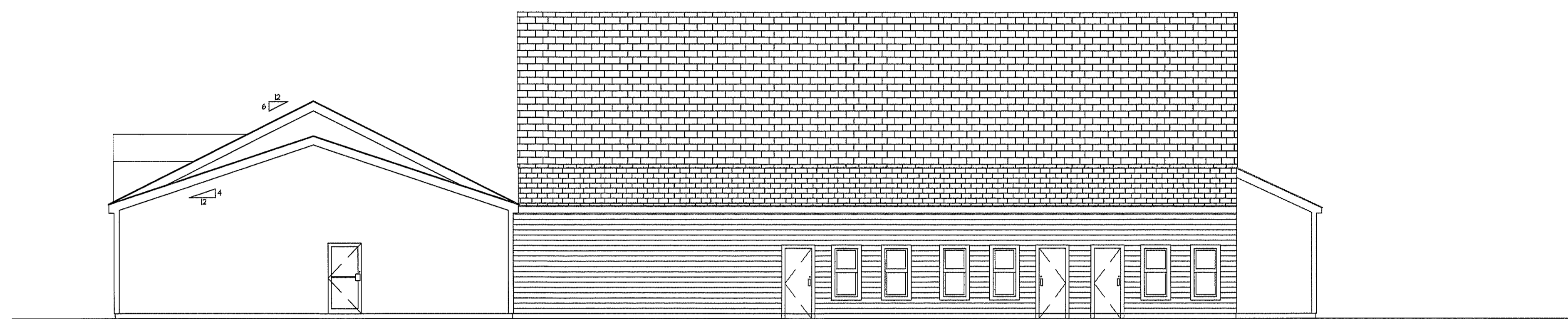
**PRELIMINARY
NOT FOR
CONSTRUCTION**

DATE:	1/31/2022
SCALE:	NTS
REVISED:	1



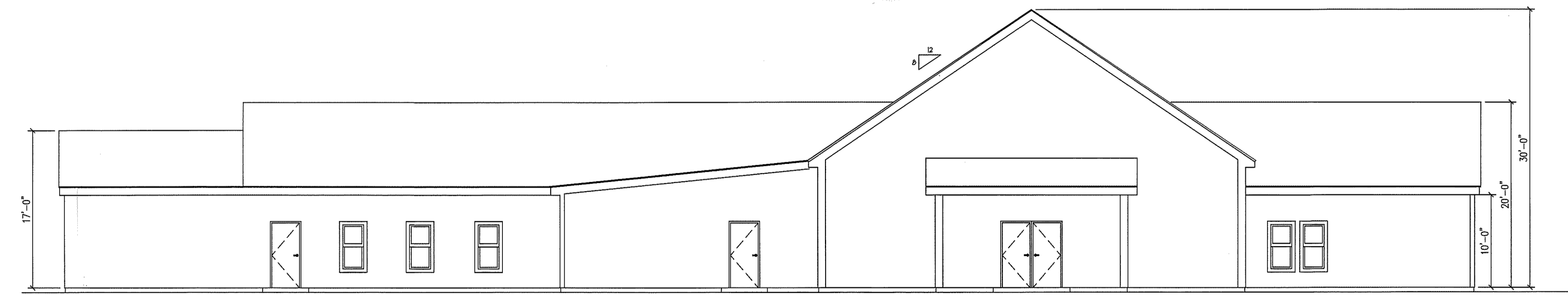
1 FRONT ELEVATION
201

SCALE: 1/4" = 1'-0"



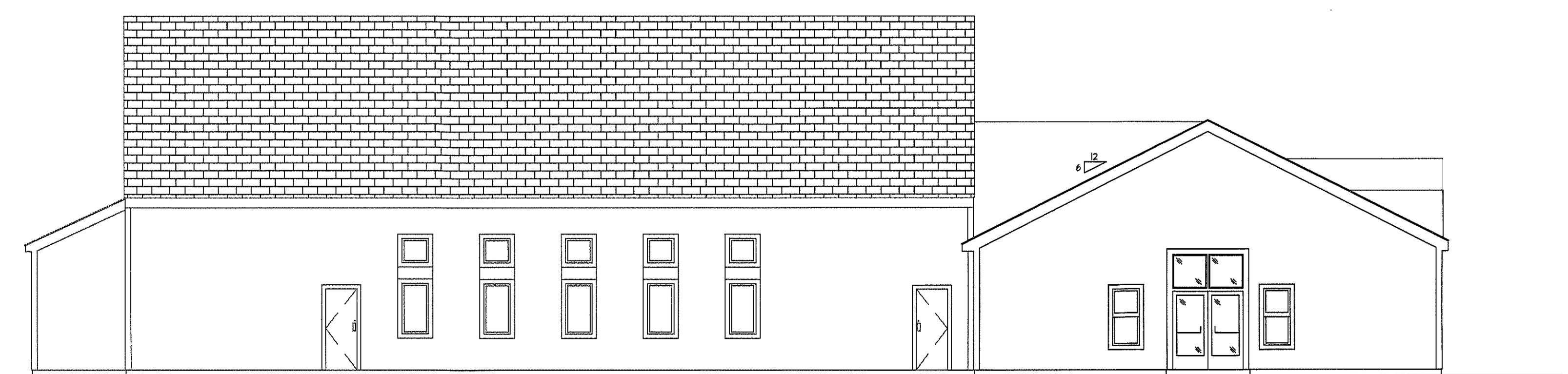
2 RIGHT ELEVATION
201

SCALE: 1/4" = 1'-0"



3 REAR ELEVATION
201

SCALE: 1/4" = 1'-0"



4 LEFT ELEVATION
201

SCALE: 1/4" = 1'-0"

**PRELIMINARY
NOT FOR
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REVISED: -

ELEVATIONS
NORTH STONINGTON BIBLE CHURCH
100 JEREMY HILL ROAD, CONNECTICUT 06354

201
SHT 16 OF 16