

# KINGDOM OF THE HAWK - TASTING ROOM SITE DEVELOPMENT PLANS

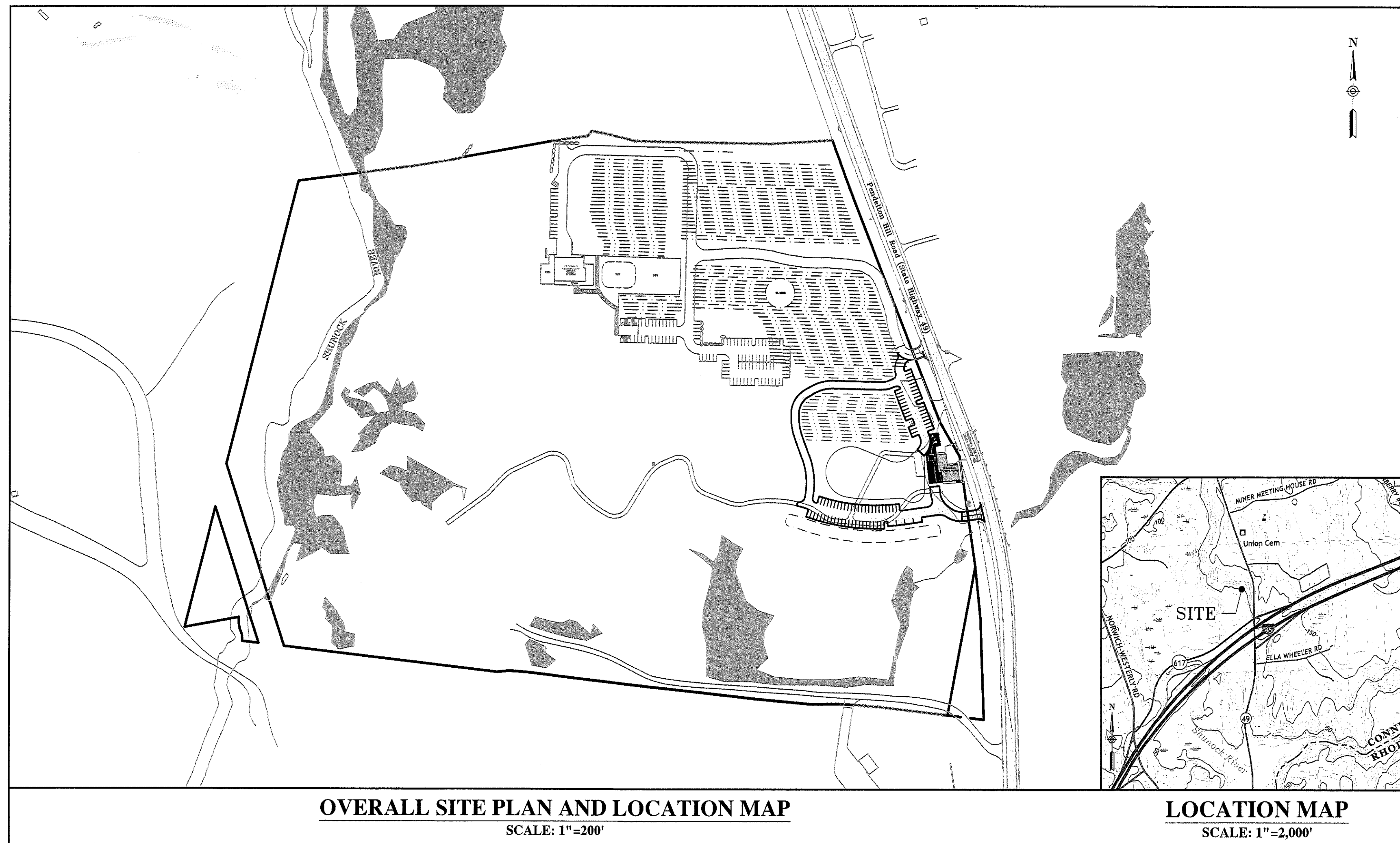
113 PENDLETON HILL AVENUE  
MAP 122 LOT 2660  
NORTH STONINGTON, CONNECTICUT

ISSUED FOR PERMITTING

PREPARED FOR  
**KINGDOM OF THE HAWK, LLC**

DATE ISSUED: MAY 6, 2021

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**OVERALL SITE PLAN AND LOCATION MAP**  
SCALE: 1"=200'

**LOCATION MAP**  
SCALE: 1"=2,000'

APPROVED BY THE NORTH STONINGTON PLANNING AND ZONING COMMISSION

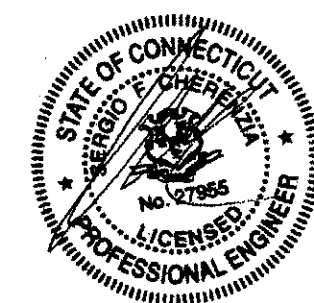
CHAIRMAN / SECRETARY \_\_\_\_\_ DATE \_\_\_\_\_

NOTE:  
SITE PLAN APPROVED BY THE NORTH STONINGTON PLANNING AND ZONING COMMISSION.

ON \_\_\_\_\_

ISSUED FOR PERMITTING

OWNER/APPLICANT  
KINGDOM OF THE HAWK, LLC  
349 ELM STREET  
STONINGTON, CT 06378



KINGDOM OF THE HAWK  
TASTING ROOM  
113 PENDLETON HILL ROAD  
MAP 122 LOT 2660  
NORTH STONINGTON, CONNECTICUT  
CA JOB # 219099

**CHERENZIA & ASSOCIATES, LTD.**  
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Civil Engineers  
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received  
3/6/21

**LEGEND**

EXIST	PROP		EXIST	PROP	
27.85 TC 27.15 BC X	27.85 TC 27.15 BC X	TOP/BOTTOM CURB ELEVATION	---	---	SUBJECT PROPERTY LINE
21.25 X	21.25 X	SPOT GRADE	---	---	ADJUTERS PROPERTY LINE
SB-1	SB-1	SOIL BORING LOCATION	---	---	EASEMENT
TH-1	TH-1	TEST HOLE LOCATION	---	---	BUILDING SETBACK
MW-1	MW-1	MONITORING WELL	---	---	CURB
BH #1	BH #1	BENCHMARK	---	---	LIMIT OF CURB TYPE
DH	DH	DRAIN MANHOLE	---	---	SAWCUT
CB	CB	CATCH BASIN	---	---	MATCHLINE
DCB	DCB	DOUBLE CATCH BASIN	---	---	STOP BAR
FES	FES	FLARED END SECTION	---	---	GUARD RAIL
		DRAINAGE LINE	---	---	STONE DUST PATH
		UNDERDRAIN PIPE	---	---	TREE LINE
		STONE TRENCH	---	---	FENCE
O/H	O/H	OVERHEAD WIRE	---	---	STONE WALL
W	W	WATER LINE	---	---	RETAINING WALL
FP	FP	FIRE PROTECTION LINE	---	---	SILT FENCE
G	G	GAS LINE	---	---	STRAW WATTLE
UE	UE	UNDERGROUND ELECTRIC	---	---	LIMIT OF DISTURBANCE
UT	UT	UNDERGROUND TELEPHONE	---	---	LOD STAKE
FA	FA	FIRE ALARM	---	---	MINOR CONTOUR
CATV	CATV	CABLE TV	---	---	MAJOR CONTOUR
		PLUG/STUB	---	---	BUILDING
SMH	SMH	SEWER MANHOLE	---	---	BUILDING DOOR
S	S	GRAVITY SEWER LINE	---	---	BOLLARD
FM	FM	FORCE MAIN SEWER LINE	---	---	DUMPSTER PAD
		WATER GATE	---	---	SIGN
TSV	TSV	TAPPING SLEEVE, VALVE, & BOX	---	---	DOUBLE SIGN
		FIRE HYDRANT	---	---	PARKING COUNT
		WELL	---	---	CONC. PAVEMENT
		GAS GATE	---	---	PAVEMENT
		ELECTRIC MANHOLE	---	---	PERMEABLE PAVERS
		SINGLE LIGHT POLE	---	---	GRAVEL/PAVE/GRASSPAVE
		TELEPHONE MANHOLE	---	---	ADA PARKING
		UTILITY PAD	---	---	100 FT UPLAND REVIEW AREA
		UTILITY POLE	---	---	WETLAND FLAG
		GUY POLE	---	---	WETLAND EDGE
			---	---	WETLAND SYMBOL
			---	---	DRAINAGE DIVIDE DURING CONSTRUCTION
			---	---	ALLOWABLE STAGING/STOCKPILING AREA
			---	---	FLOW DIRECTION

**ABBREVIATIONS**

ABAN	ABANDON	MAX	MAXIMUM
ADJ	ADJUST	MIN	MINIMUM
ASSF	AREA SUBJECT TO STORM FLOWAGE	MCC	MONOLITHIC CONCRETE CURB
ASTM	AMERICAN SOCIETY FOR TESTING & MATERIALS	MH	MANHOLE
ADA	AMERICANS WITH DISABILITIES ACT	NTS	NOT TO SCALE
APPROX	APPROXIMATE	OC	ON CENTER
BIT	BITUMINOUS	PVC	POLYVINYLCHLORIDE PIPE
BCLC/BCC	BITUMINOUS CONCRETE CURB	PCC	PRECAST CONCRETE CURB
BW	GRADE AT THE BOTTOM OF THE WALL	PL	PROPERTY LINE
BWL	BROKEN WHITE LINE	PROP	PROPOSED
BYL	BROKEN YELLOW LINE	R	RADIUS
CB	CAPE ODD BERM	RCP	REINFORCED CONCRETE PIPE
CB	CATCH BASIN	R&D	REMOVE AND DISPOSE
CMP	CORRUGATED METAL PIPE	R&R	REMOVE AND RESET
COL	COLUMN	R&S	REMOVE AND STORE
CONC	CONCRETE	SMH	SEWER MANHOLE
CONST	CONSTRUCTION	SESC	SOIL EROSION SEDIMENT CONTROL
CPP	CORRUGATED PLASTIC PIPE	SWL	SINGLE WHITE LINE
CY	CUBIC YARD	SWCL	SINGLE WHITE CHANNELIZING LINE
DBL	DOUBLE	SYL	SINGLE YELLOW LINE
DCB	DOUBLE CATCH BASIN	SYCL	SINGLE YELLOW CHANNELIZING LINE
DYL	DOUBLE YELLOW LINE	SF	SQUARE FEET
DMH	DRAIN MANHOLE	STD	STANDARD
DI	DUCTILE IRON	SDR	STANDARD DIMENSION RATIO
DR	DIMENSION RATIO	STA	STATION
DIPS	DUCTILE IRON PIPE SIZE	TMH	TELECOMMUNICATION MANHOLE
ELEV	ELEVATION	TSV	TAPPING SLEEVE, VALVE AND BOX
EOP	EDGE OF PAVEMENT	TF	TOP OF FRAME
EXIST	EXISTING	TRANS	TRANSITION
FT	FEET	TW	ELEVATION OF TOP OF THE WALL
FES	FLARED END SECTION	TYP	TYPICAL
HDPE	HIGH DENSITY POLYETHYLENE	UP	UTILITY POLE
HYD	HYDRANT	VC	VERTICAL GRANITE CURB
INV	INVERT ELEVATION	WG	WATER GATE
LA	LANDSCAPE AREA	WF	WETLAND FLAG
LOD	LIMIT OF DISTURBANCE		

**GENERAL NOTES**

- THESE PLANS AND THEIR CORRESPONDING ELECTRONIC DOCUMENTS, INCLUDING CAD FILES FOR THE PROJECT, ARE INSTRUMENTS OF PROFESSIONAL SERVICE AND SHALL NOT BE USED IN WHOLE OR IN PART FOR ANY OTHER PURPOSE THAN THE DEVELOPMENT OF THIS PROJECT WITHOUT THE EXPRESSED WRITTEN CONSENT OF CHERENZIA & ASSOCIATES, LTD. ANY UNAUTHORIZED USE, RE-USE, ALTERATION, OR MODIFICATION OF THIS DATA SHALL BE AT THE USER'S RISK WITH NO LIABILITY ON THE PART OF CHERENZIA.
- UPON AWARD OF THE CONTRACT AND PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND BONDS AND PAYING ALL STATE AND LOCAL FEES RELATING TO THE WORK SHOWN ON THESE DRAWINGS, THE CONSTRUCTION SPECIFICATIONS, AND CONTRACT DOCUMENTS.
- THE CONTRACTOR SHALL NOTIFY DIG-SAFE AT LEAST 72 BUSINESS HOURS PRIOR TO INITIATING ANY EXCAVATION WORK.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS. WHERE SITE SPECIFICATIONS ARE NOT PROVIDED, THE CONTRACTOR SHALL ADHERE TO LOCAL MUNICIPAL STANDARDS OR THE CONNECTICUT DEPARTMENT OF TRANSPORTATION SPECIFICATIONS, AS APPLICABLE. WORK WITHIN LOCAL RIGHTS-OF-WAY SHALL ADHERE TO LOCAL MUNICIPAL STANDARDS. WORK WITHIN STATE RIGHTS-OF-WAY SHALL ADHERE TO STATE HIGHWAY STANDARDS. WHERE A DISCREPANCY EXISTS, THE MORE RESTRICTIVE STANDARD SHALL APPLY.
- REFERENCE MADE TO "STATE HIGHWAY STANDARDS," "STATE STANDARD SPECIFICATIONS," "STANDARD SPECIFICATIONS," OR "CONDOT STANDARDS" SHALL MEAN AND BE DEFINED AS "CONNECTICUT DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS"
- ANY WORK NOT MEETING THE APPROVED STANDARDS SHALL BE REMOVED IMMEDIATELY AND REPLACED BY THE CONTRACTOR AT NO COST TO THE OWNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SITE SECURITY AND JOB SAFETY AND SHALL CONFORM TO THE RULES AND REGULATIONS OF THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA).
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE AND PROTECTION OF PEDESTRIAN AND VEHICULAR TRAFFIC INCLUDING ANY REQUIRED POLICE PROTECTION. ANY REQUIRED TEMPORARY CONSTRUCTION SIGNS, BARRICADES AND LANE CLOSURES SHALL BE IN CONFORMANCE WITH THE LATEST "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD).
- THE CONTRACTOR SHALL NOT OBSTRUCT PUBLIC ROADWAYS, SIDEWALKS, OR FIRE HYDRANTS WITHOUT FIRST OBTAINING THE NECESSARY PERMITS TO DO SO.
- ADA ACCESSIBLE ROUTES, PARKING SPACES, SIDEWALKS, AND RAMPS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE FEDERAL AMERICANS WITH DISABILITIES ACT (ADA) AND LOCAL AND STATE STANDARDS. WHERE A DISCREPANCY EXISTS, THE MORE RESTRICTIVE STANDARD SHALL APPLY.
- THE LIMITS-OF-WORK (A.K.A. "LIMIT OF DISTURBANCE") SHALL BE AS SHOWN ON THESE PLANS. AREAS DISTURBED BEYOND THESE DEFINED LIMITS SHALL BE RESTORED BY THE CONTRACTOR TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE. LANDSCAPE AREAS SHALL BE RESTORED WITH 6 INCHES OF LOAM AND SEED.
- SHOULD THE CONTRACTOR ENCOUNTER SUSPECTED CONTAMINATED SOIL, GROUNDWATER, OR OTHER MATERIAL DURING EXCAVATION, THE CONTRACTOR SHALL IMMEDIATELY STOP WORK IN THE SUSPECTED AREA AND NOTIFY THE OWNER SO THAT APPROPRIATE ACTIONS AND TESTING CAN TAKE PLACE.
- UNLESS OTHERWISE NOTED ON THE PLANS, ALL UNPAVED/LANDSCAPE AREAS SHALL RECEIVE SIX (6) INCHES OF LOAM AND SEED WITHIN THE LIMITS OF WORK SHOWN ON THESE PLANS. LOAM SHALL BE EVENLY SPREAD, SMOOTHED, AND COMPACTED PRIOR TO SEEDING.
- PRIOR TO START OF CONSTRUCTION, THE CONTRACTOR SHALL VERIFY EXISTING PAVEMENT ELEVATIONS AT THEIR PROPOSED INTERFACE WITH PROPOSED PAVEMENTS TO ENSURE PROPER TRANSITIONS BETWEEN EXISTING AND PROPOSED FACILITIES.
- HORIZONTAL AND VERTICAL DATUMS ARE PROVIDED ON THE SURVEY PLANS.

**LAYOUT AND MATERIALS NOTES**

- THE CONTRACTOR SHALL NOT RELY SOLELY ON ELECTRONIC VERSIONS OF PLANS, SPECIFICATIONS, AND DATA FILES THAT ARE OBTAINED FROM THE DESIGNERS, BUT SHALL VERIFY LOCATION OF PROJECT FEATURES IN ACCORDANCE WITH PAPER COPIES OF THE PLANS AND SPECIFICATIONS THAT ARE SUPPLIED AS PART OF THE CONTRACT DOCUMENTS.

- SYMBOLS AND LEGENDS OF PROJECT FEATURES ARE GRAPHIC REPRESENTATIONS AND ARE NOT NECESSARILY SCALED TO THE ACTUAL DIMENSIONS OR LOCATIONS ON THE DRAWINGS. THE CONTRACTOR SHALL REFER TO THE DETAIL SHEET DIMENSIONS, MANUFACTURERS LITERATURE, SHOP DRAWINGS AND FIELD MEASUREMENTS OF SUPPLIED PRODUCTS FOR LAYOUT OF THE PROJECT FEATURES.
- DIMENSIONS ARE TO/FROM FACE OF CURB, FACE OF BUILDING, FACE OF WALL, AND CENTER LINE OF PAVEMENT MARKINGS, UNLESS OTHERWISE NOTED ON THESE PLANS.
- PROPOSED BOUNDS AND ANY OTHER EXISTING PROPERTY LINE MONUMENTATION DISTURBED DURING CONSTRUCTION SHALL BE SET OR RESET BY A PROFESSIONAL LICENSED SURVEYOR.
- THE CONTRACTOR SHALL PROVIDE TEMPORARY BITUMINOUS PATCH FOR ANY TRENCH WORK WITHIN PAVEMENT OR SIDEWALK AREAS IN PUBLIC RIGHTS-OF-WAY UNTIL PERMANENT PATCHING IS INSTALLED.
- CURBING SHALL BE BITUMINOUS CONCRETE CURB (BCC) WITH A 3-FOOT RADIUS (R). UNLESS OTHERWISE NOTED ON THE PLANS.

**DEMOLITION**

- WITHIN THE LIMIT OF WORK/DISTURBANCE, THE CONTRACTOR SHALL CLEAR AND GRUB ALL EXISTING VEGETATION AND STOCKPILE AND SCREEN TOPSOIL FOR RE-USE IN LANDSCAPE AREAS. THE CONTRACTOR SHALL ALSO REMOVE AND DISPOSE OF ALL EXISTING MANMADE FEATURES, INCLUDING BUT NOT LIMITED TO BUILDINGS, STRUCTURES, PAVEMENTS, SLABS, CURBING, WALLS, FENCES, UTILITIES (BOTH OVERHEAD AND UNDERGROUND), SIGNS, ETC., EXCEPT AS OTHERWISE NOTED ON THESE PLANS.
- WITHIN THE PROPOSED BUILDING ENVELOPE AND TO A DISTANCE OF 10 FEET AROUND THE BUILDING PERIMETER, THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL UNSUITABLE MATERIALS AND SHALL FURNISH AND INSTALL GRAVEL FILL TO THE PROPOSED BUILDING SUBGRADE.
- THE CONTRACTOR SHALL DISPOSE OF ALL MATERIALS OFF-SITE IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REGULATIONS.
- THE EXTENT OF DEMOLITION DEPICTED ON THESE PLANS IS INTENDED TO AID THE CONTRACTOR IN BIDDING THE PROJECT AND IS NOT NECESSARILY INTENDED TO DEPICT EACH AND EVERY ELEMENT OF DEMOLITION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE FULL EXTENTS OF THE DEMOLITION WORK PRIOR TO CONTRACT AWARD AND SHALL NOT BE COMPENSATED FOR UNFORESEEN CONDITIONS ONCE THE WORK HAS COMMENCED.
- EXISTING UTILITIES SHALL BE TERMINATED IN CONFORMANCE WITH APPLICABLE FEDERAL, STATE, LOCAL, AND SERVICE PROVIDER REQUIREMENTS.
- UNLESS OTHERWISE SPECIFICALLY PROVIDED ON THESE PLANS, THE ENGINEER HAS NOT PREPARED PLANS FOR THE DISCOVERY, REMOVAL, ABATEMENT, OR DISPOSAL OF ANY HAZARDOUS OR TOXIC MATERIALS FOUND DURING CONSTRUCTION.

**EROSION CONTROLS/CONSTRUCTION SEQUENCING**

- PRIOR TO THE START OF CONSTRUCTION OF ANY EARTHWORK ACTIVITIES, THE CONTRACTOR SHALL NOTIFY ALL APPLICABLE AGENCIES AND INSTALL THE EROSION CONTROL MEASURES SHOWN ON THESE PLANS IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL PERMITS PERTAINING TO THIS PROJECT.
- THE CONTRACTOR SHALL KEEP A COPY OF THE "SOIL EROSION AND SEDIMENTATION CONTROL PLAN" (SESC) AND THE APPROVED PLAN SET AT THE CONSTRUCTION SITE AT ALL TIMES.
- THE CONTRACTOR SHALL INSTALL ALL EROSION AND SEDIMENTATION (E&S) CONTROL MEASURES SHOWN ON THE PLAN SET IN ACCORDANCE WITH THE MOST RECENT EDITION OF THE "CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL."
- THE CONTRACTOR SHALL BE RESPONSIBLE TO MAINTAIN AND/OR UPGRADE THESE MEASURES, AS NECESSARY, THROUGHOUT CONSTRUCTION, TO MEET THE REQUIREMENTS OF ALL RELATED PERMITS FOR THE PROJECT.
- THE CONTRACTOR SHALL PREPARE AND MAINTAIN A RED-LINED COPY OF THE SESC PLAN SHOWING INTENDED AREAS FOR STAGING, STOCKPILING, WASHOUT, SOLID WASTE, CONTAINMENT, CONSTRUCTION ENTRANCE/EXIT AND TEMPORARY SEDIMENTATION CONTROL AREAS. ALL SUCH AREAS SHALL BE LOCATED OUTSIDE OF REGULATED WETLAND AREAS OR AREAS INTENDED FOR INFILTRATION PRACTICES.
- EROSION CONTROL DEVICES
  - AT LEAST ONE STABILIZED CONSTRUCTION ENTRANCE/EXIT SHALL BE INSTALLED FOR ACCESS TO THE PROJECT BY CONSTRUCTION VEHICLES. THE CONSTRUCTION ENTRANCE SHALL BE INSTALLED BEFORE CONSTRUCTION VEHICLES WILL BE ALLOWED TO ENTER THE CONSTRUCTION SITE. ADDITIONAL ENTRANCES/EXITS SHALL BE INSTALLED, IF MORE THAN ONE ACCESS POINT IS ANTICIPATED BY THE CONTRACTOR. A WASH OUT PAD MAY ALSO BE INSTALLED TO WASH CONSTRUCTION VEHICLES EXITING THE SITE.
  - ROADS ADJACENT TO THE CONSTRUCTION SITE SHALL BE CLEAN AT THE END OF EACH WORK DAY.
  - TEMPORARY SEDIMENT TRAPS MAY BE EXCAVATED OR BERMED/SHALLOED AND SHALL BE SIZED IN ACCORDANCE WITH THE "CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL" DISCHARGE LOCATION FROM THESE BASINS SHALL BE STABILIZED TO PREVENT EROSION.
  - STRAW WATTLE AND/OR SILT SACKS SHALL BE INSTALLED AT ALL DOWN-GRADIENT CATCH BASINS WITHIN THE LIMIT OF WORK TO CONTROL EROSION AND SEDIMENTATION AND TO PROTECT OFF-SITE AREAS. THESE DEVICES SHALL BE INSTALLED AS SHOWN ON THE SOIL EROSION SEDIMENT CONTROL PLAN PRIOR TO INITIATION OF MAJOR SITE WORK ACTIVITIES AND SHALL BE MAINTAINED/REPAIRED UNTIL FINAL STABILIZATION OF ALL DISTURBED AREAS.
  - FENCE SHALL BE INSTALLED AROUND ALL EARTH STOCKPILES.
  - ALL OTHER EROSION CONTROL DEVICES SHOWN ON THESE PLANS SHALL BE IN ACCORDANCE WITH THE "CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENTATION CONTROL."
- THE EROSION CONTROL MEASURES SHOWN ON THESE PLANS ARE INTENDED TO BE THE MINIMUM NECESSARY AT THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE TO MAINTAIN AND SUPPLEMENT THESE EROSION CONTROLS, AS NECESSARY THROUGHOUT CONSTRUCTION, TO PREVENT DAMAGE TO WETLANDS AND/OR SURROUNDING PROPERTIES.
- THE CONTRACTOR SHALL PREVENT DUST, DEBRIS, OR SEDIMENTS FROM LEAVING THE SITE DURING CONSTRUCTION AND SHALL BE RESPONSIBLE TO REPAIR, CLEAN UP, OR TAKE OTHER CORRECTIVE ACTION IMMEDIATELY OR NO LATER THAN 24 HOURS AFTER ANY ISSUE ARISES.
- THE CONTRACTOR SHALL CONTROL CONSTRUCTION STORMWATER RUNOFF IN SUCH A MANNER AS TO PREVENT DAMAGE TO DOWN-GRADIENT PROPERTIES. ANY SOIL DAMAGED SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL INSPECT ALL EROSION CONTROL DEVICES ON A WEEKLY BASIS AND WITHIN 12 HOURS AFTER A RAINFALL EVENT. THE CONTRACTOR SHALL IMMEDIATELY REPAIR DAMAGED DEVICES AND SHALL REMOVE ACCUMULATED SEDIMENTS IN ACCORDANCE WITH LOCAL REQUIREMENTS AND PERMITS. WHEN APPLICABLE, ACCUMULATED SEDIMENTS SHALL BE REMOVED FROM THE SITE OR PLACED AWAY FROM WETLANDS AND CLOSED DRAINAGE SYSTEMS.
- THE CONTRACTOR SHALL MAKE EVERY EFFORT TO PERFORM EARTHWORK IN PHASES THAT ALLOW FOR STABILIZATION OF THESE AREAS IN A RELATIVELY SHORT TIME PERIOD AND TO DISCOURAGE EROSION AND SEDIMENTATION. ANY EXPOSED SOILS INTENDED TO REMAIN FOR MORE THAN 14 DAYS SHALL BE STABILIZED WITH MULCH, OR TEMPORARY SEED AND WATERED TO ENCOURAGE VEGETATION.
- THE CONTRACTOR SHALL INSTALL PERMANENT SEEDING BETWEEN APRIL 15TH AND JUNE 15TH AND/OR AUGUST 15TH TO OCTOBER 15TH.
- THE CONTRACTOR SHALL APPLY PERMANENT SOIL STABILIZATION MEASURES TO ALL GRADED AREAS WITHIN SEVEN (7) DAYS OF ESTABLISHING FINAL GRADE.
- THE CONTRACTOR SHALL PERFORM A FINAL INSPECTION OF ALL EXISTING CATCH BASINS, DRAINAGE PIPING, AND ASSOCIATED DRAINAGE STRUCTURES WITHIN THE PROJECT LIMITS TO ENSURE THAT ALL SEDIMENTS HAVE BEEN REMOVED BEFORE WORK IS DEEMED COMPLETE.
- THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL SESC MEASURES ONLY AFTER FINAL PAVEMENT IS PLACED AND VEGETATION IN LANDSCAPE AREAS IS WELL ESTABLISHED.

**INFILTRATION AREAS**

TO ENSURE THE LONG-TERM FUNCTION AND VALUE OF ANY AREA PROPOSED FOR INFILTRATION INCLUDING BUT NOT LIMITED TO BIORETENTION BASINS, SAND FILTERS, SURFACE INFILTRATION BASINS, AND SUBSURFACE INFILTRATION CHAMBERS, THE CONTRACTOR SHALL EXERCISE THE FOLLOWING BEST MANAGEMENT PRACTICES THROUGHOUT CONSTRUCTION:

- THESE AREAS SHALL NOT BE USED FOR TEMPORARY CONSTRUCTION SEDIMENTATION CONTROL, TEMPORARY SEDIMENTATION TRAPS, OR DEWATERING AREAS.
- THESE AREAS SHALL REMAIN OFF-LINE UNTIL THE ENTIRE CONSTRUCTION AREA CONTRIBUTING TO THESE AREAS HAS BEEN STABILIZED WITH BUILDINGS, BUILDING FOUNDATIONS, PAVEMENT, OR VEGETATION, AS APPLICABLE.
- STORMWATER RUNOFF DURING CONSTRUCTION SHALL BE DIRECTED AWAY FROM THESE AREAS TO THE GREATEST EXTENT PRACTICABLE. WHERE NOT FEASIBLE, THE CONTRACTOR SHALL INSTALL ADDITIONAL EROSION CONTROLS UP-GRADE OF THESE AREAS TO PREVENT SEDIMENTATION OF THESE AREAS DURING CONSTRUCTION.
- THE SUBGRADE BELOW THESE AREAS SHALL NOT BE COMPACTED. THEREFORE, THE CONTRACTOR SHALL RESTRICT ACCESS TO THESE AREAS BY HEAVY EQUIPMENT AND SHALL NOT USE THESE AREAS FOR MATERIALS STOCKPILES.
- EXCAVATION AND CONSTRUCTION OF THESE AREAS SHALL BE PERFORMED USING HAND OR HYDRAULIC EQUIPMENT TO ENSURE THAT THE NATURAL FILTRATION EARTH MATERIAL IS NOT DISTURBED OR OTHERWISE COMPACTED.
- UPON COMPLETION OF CONSTRUCTION OF ANY OF THESE AREAS, THE CONTRACTOR SHALL INSTALL EROSION CONTROL MEASURES TO PREVENT SILTATION OF THE FILTER MATERIALS.

**CHERENZIA & ASSOCIATES, LTD.**  
 Civil Engineers  
 Land Surveyors  
 Land Use Planners  
 Environmental Engineers

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 Fax: 860.599.6090

P.O. Box 511  
 Westford, RI 02891  
 Tel: 401.596.7747

www.cherenzia.com

PLAN REVISIONS				
REV. NO.	DATE	DESCRIPTION	DWN BY	CHK BY

SCALE: N.T.S.  
 CA JOB #210909  
 MAY 4, 2021

DRAWN BY: SETB  
 CHECK BY: SFC

**ISSUED FOR PERMITTING**

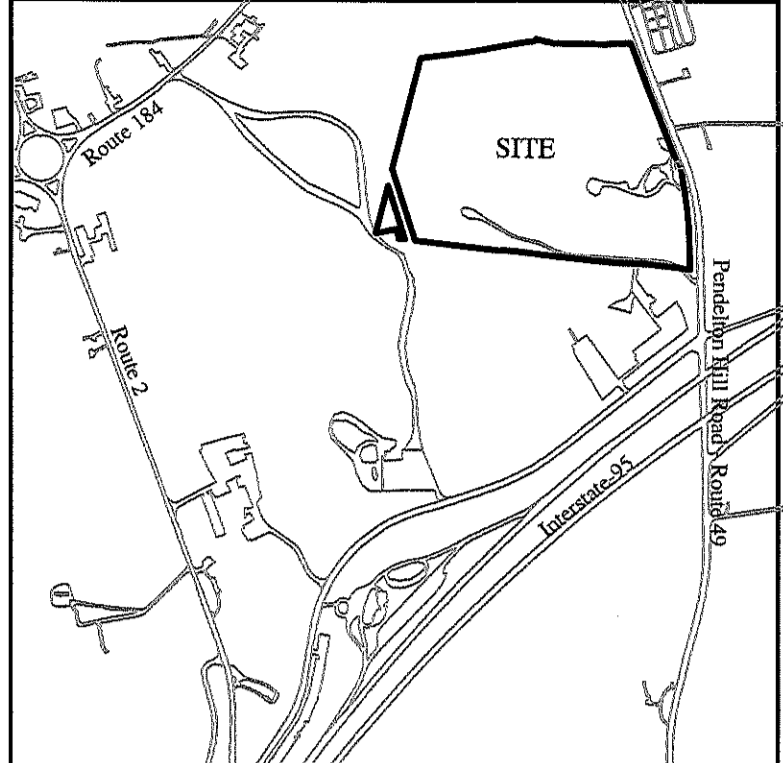
**LEGEND & GENERAL NOTES**

**KINGDOM OF THE HAWK TASTING ROOM**  
 113 PENDELTON HILL ROAD  
 MAP 122 LOT 2660  
 NORTH STONINGTON, CONNECTICUT

PREPARED FOR  
**KINGDOM OF THE HAWK, LLC.**

STATE OF CONNECTICUT  
 REGISTERED PROFESSIONAL ENGINEER

**C-1**



**LOCATION MAP**

- NOTE:
- SEE A-2 HORIZONTAL, T-2 & T-D VERTICAL SURVEY PLAN TITLED: COMPREHENSIVE BOUNDARY & TOPOGRAPHIC SURVEY PREPARED FOR KINGDOM OF THE HAWK, LLC 32 BROADWAY AVENUE PLAT 122 LOT 3660 NORTH STONINGTON, CONNECTICUT SCALE 1"=100' & 1"=40' JULY 22, 2020 SHEET 1 OF 3 THROUGH 3 OF 3 CHERENZIA & ASSOCIATES, LTD. PAWCATUCK, CONNECTICUT
  - THE ENTIRE SUBJECT PARCEL LIES WITHIN THE X & AE SPECIAL FLOOD HAZARD ZONE, AS DELINEATED ON THE FIRM FLOOD INSURANCE RATE MAP FOR TOWN OF NORTH STONINGTON, CONNECTICUT, MAP NUMBER 09011C041H, MAP REVISED: APRIL 3, 2009.
  - LIMITS OF FLOOD HAZARD ZONE ARE APPROXIMATE AND ARE SCALED FROM THE FEDERAL FLOOD HAZARD MAPS (PROPERTY LIES WITHIN THE FLOOD ZONE AE & X). THIS LOT DOES NOT INCLUDE LAND AREAS WITHIN THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S 100-YEAR FLOOD HAZARD AREA (PROPOSED DEVELOPMENT OF THE PROPERTY LIES WITHIN THE FLOOD ZONE X).
  - TOWN OF NORTH STONINGTON LAND DISTURBANCE APPLICATION NUMBER 20-028.
  - CONNECTICUT DEPARTMENT OF TRANSPORTATION (CTDOT) FOR THE CURB CUT APPROVED AUGUST 27, 2020.
  - THE ENTIRE PARCEL LIES WITHIN THE WSPOA.

- LEGEND**
- PROPOSED BUILDING
  - PROPOSED PAVEMENT DRIVE
  - PROPOSED TERRAZZO PAVERS (SEE DETAIL ON SHEET C-3)
  - PROPOSED BITUMINOUS PAVEMENT (SEE DETAIL ON SHEET C-3)

**PLAN REVISIONS**

REV. NO.	DATE	DESCRIPTION	DWN BY	CHK BY

SCALE: 1" = 80'  
 CA JOB #219099  
 MAY 4, 2021

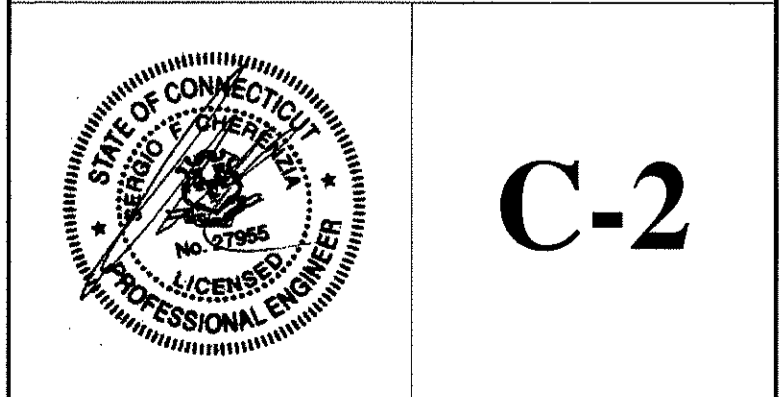
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 CHECK BY: SFC

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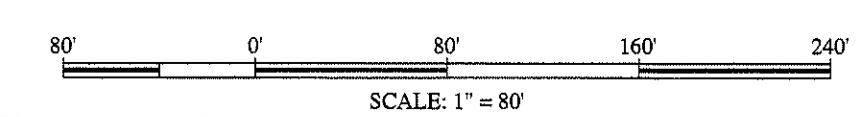
**OVERALL SITE PLAN**

**KINGDOM OF THE HAWK TASTING ROOM**  
 113 PENDLETON HILL ROAD  
 MAP 122 LOT 2660  
 NORTH STONINGTON, CONNECTICUT

PREPARED FOR  
**KINGDOM OF THE HAWK, LLC.**



**C-2**



N/E  
 Robert H. Boissevain, Trustee  
 Plat 122 Lot 3195  
 Book 110 Page 125

N/E  
 Trustees  
 Robert H. Boissevain, Trustee  
 Plat 117 Lot 2208  
 Book 222 Page 208

N/E  
 Quinlan Enterprises, LLC  
 Plat 122 Lot 7634  
 Book 216 Page 635

N/E  
 MSS Realty  
 Plat 117 Lot 6778  
 Book 225 Page 1098

N/E  
 Cognis Realty, LLC  
 Plat 122 Lot 3195  
 Book 110 Page 125

N79°38'00"E 29.69'  
 S33°00"E 80.31'  
 L=5.57, R=104.39  
 L=6.74, R=84.24  
 L=6.02, R=111.33  
 L=7.48, R=125.75  
 L=11.55, R=34.52  
 L=9.39, R=22.32  
 L=2.71, R=343.09  
 L=7.89, R=22.32  
 L=4.99, R=22.32

**Zoning Chart**  
 (Based On EDD: Economic Development District)

	Required	Provided
Lot Area (SF)	200,000 SF	2,347,940 SF
Frontage (FT)	200 FT	1154 FT
Maximum Imp Cover	70%	0.70%
Maximum Height	50 FT	< 50 FT
Principal Building (FT)	50 FT	< 50 FT
Building Setback		
- Front Setback (FT)	35 FT	8 FT **
- Rear Setback (FT)	20 FT	1765.1 FT **
- Side Setback (FT)	20 FT	590.5 FT **

\*\* - Existing Structure Setbacks

**Parking Chart**

	Required*	Provided
Std. Spaces	18	79
ADA Spaces	1	2
Total Spaces	19	81

\* Required Parking Calculation  
 Total Building Square Footage = 2854SF  
 Places of Public Assembly: 1 Space/3 Seats = 55 Seats/3 = 19 Spaces  
 Accessible Spaces: 2 Space  
 Total Parking Spaces Required = 19 Spaces  
 Total Parking Proposed = 81 Spaces

- NOTE:
1. THERE IS A REDUCTION IN IMPERVIOUS AREA FROM 0.84% TO 0.70%.
  2. TRASH WILL BE TAKEN TO THE CURB VIA TRASH RECEPTACLES DURING THE APPROPRIATE TRASH COLLECTION DAY.

**LEGEND**

- PROPOSED BUILDING
- PROPOSED GRASS PARKING/DRIVE
- PROPOSED PERVIOUS PAVERS
- PROPOSED BITUMINOUS PAVEMENT

**PLAN REVISIONS**

REV. NO.	DATE	DESCRIPTION	DWN BY	CHK BY

SCALE: 1" = 40'  
 CA JOB #219099  
 MAY 4, 2021  
 DRAWN BY: SETB  
 CHECK BY: SFC

**ISSUED FOR PERMITTING**

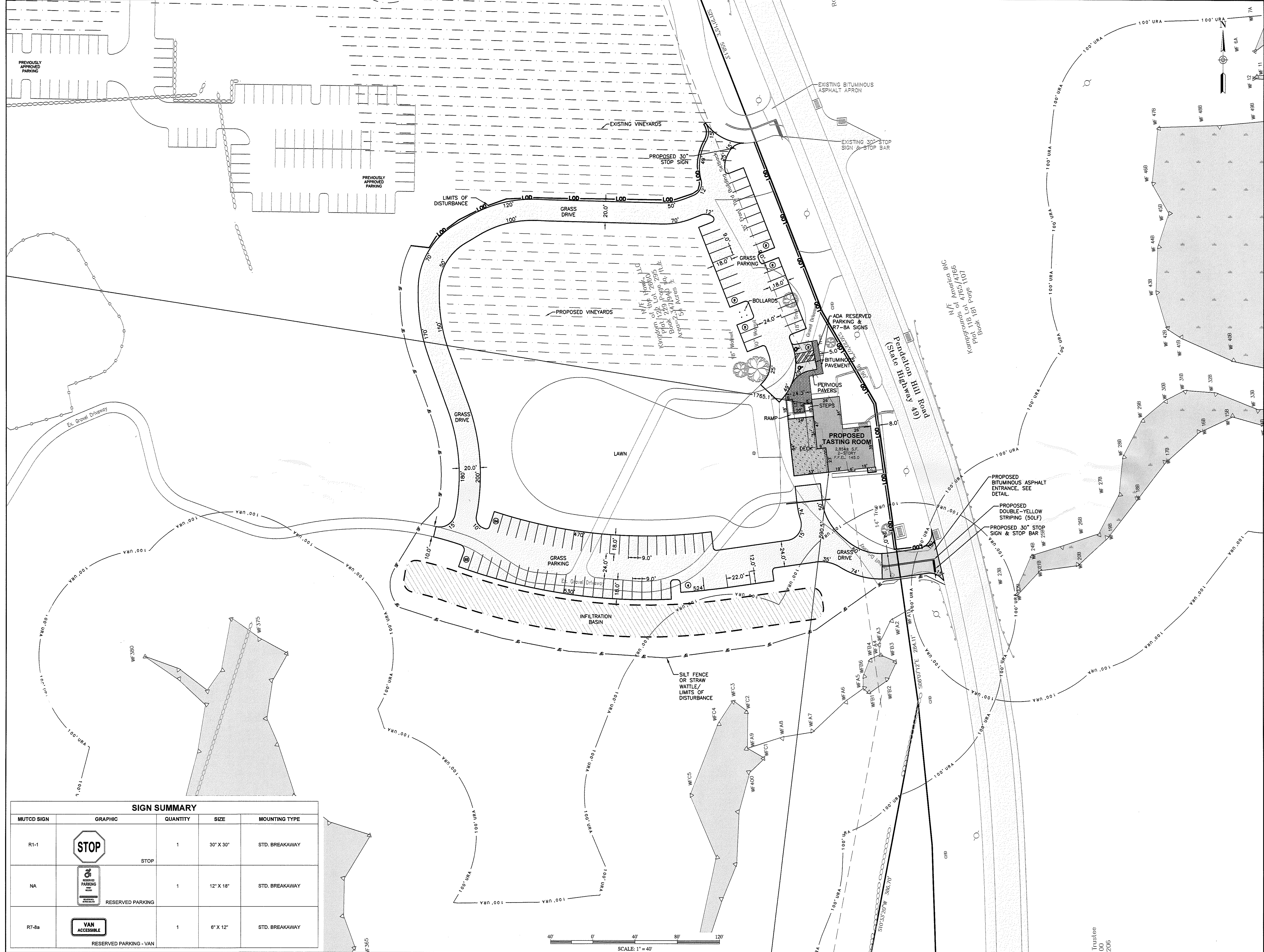
**SITE PLAN**

**KINGDOM OF THE HAWK TASTING ROOM**  
 113 PENDLETON HILL ROAD  
 MAP 122 LOT 2660  
 NORTH STONINGTON, CONNECTICUT

PREPARED FOR  
**KINGDOM OF THE HAWK, LLC.**

Professional Engineer Seal for State of Connecticut, License No. 27585, dated 04/2019 to 04/2024.

**C-3**



**SIGN SUMMARY**

MUTCD SIGN	GRAPHIC	QUANTITY	SIZE	MOUNTING TYPE
R1-1	STOP	1	30" X 30"	STD. BREAKAWAY
NA	RESERVED PARKING	1	12" X 18"	STD. BREAKAWAY
R7-8a	VAN ACCESSIBLE	1	6" X 12"	STD. BREAKAWAY



- NOTE:
- ALL ROOF LEADERS TO BE DIRECTED TO THE PROPOSED INFILTRATION AREAS.
  - SEE A-2 HORIZONTAL, T-2 & T-D VERTICAL SURVEY TITLED: COMPREHENSIVE BOUNDARY & TOPOGRAPHIC SURVEY PREPARED FOR KINGDOM OF THE HAWK, LLC 32 BROADWAY AVENUE FLAT 122 LOT 2660 NORTH STONINGTON, CONNECTICUT SCALE 1"=100' & 1"=40' JULY 22, 2020 SHEET 1 OF 3 THROUGH 3 OF 3 CHERENZIA & ASSOCIATES, L.P. PAWCATUCK, CONNECTICUT
  - THE ENTIRE SUBJECT PARCEL LIES WITHIN THE X & SPECIAL FLOOD HAZARD ZONE, AS DELINEATED ON FLOOD INSURANCE RATE MAP FOR TOWN OF NORTH STONINGTON, CONNECTICUT, MAP NUMBER 09011C0 MAP REVISED: APRIL 3, 2020.
  - LIMITS OF FLOOD HAZARD ZONE ARE APPROXIMATE (PROPERTY LIES WITHIN THE FLOOD ZONE AE & X). IT DOES NOT INCLUDE LAND AREAS WITHIN THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S 100-YEAR FLOOD HAZARD AREA (PROPOSED DEVELOPMENT OF THE PL LIES WITHIN THE FLOOD ZONE X).
  - TOWN OF NORTH STONINGTON LAND DISTURBANCE APPLICATION NUMBER 20-028.
  - CONNECTICUT DEPARTMENT OF TRANSPORTATION (CT) CURB CUT APPROVED AUGUST 27, 2020.
  - BUILDINGS OR BOLLARDS TO BE PLACED ALONG STEEP SLOPES IN PARKING AREA.
  - THE ENTIRE PARCEL LIES WITHIN THE W.S.P.O.A.
  - THE ROOF DRAINS AROUND THE PERIMETER WILL BE APPROVED TIGHT PIPE PER CT PUBLIC HEALTH CODE 3) AND THE BUILDING IS TO HAVE NO FOOTING DRAINS. THE BUILDING REQUIRES FOOTING DRAINS. THE PROPOSED SEPTIC TANK WILL NEED TO MEET THE 25 FOOT SEPARATION DISTANCE.

**LEGEND**

	PROPOSED BUILDING
	PROPOSED GRASS PARKING/DRIVEWAY
	PROPOSED PERVIOUS PAVERS (SEE DETAIL ON SHEET C-7)
	PROPOSED BITUMINOUS PAVEMENT (SEE DETAIL ON SHEET C-7)

**PLAN REVISIONS**

REV. NO.	DATE	DESCRIPTION	DRAWN BY

SCALE: 1" = 40'  
 CA JOB #219099  
 MAY 4, 2021

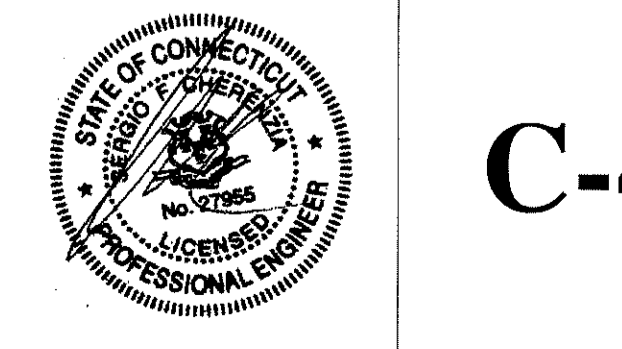
DRAWN BY: SET  
 CHECK BY: SFC

**ISSUED FOR PERMITTING**

**GRADING, DRAINAGE, & UTILITY PLAN**

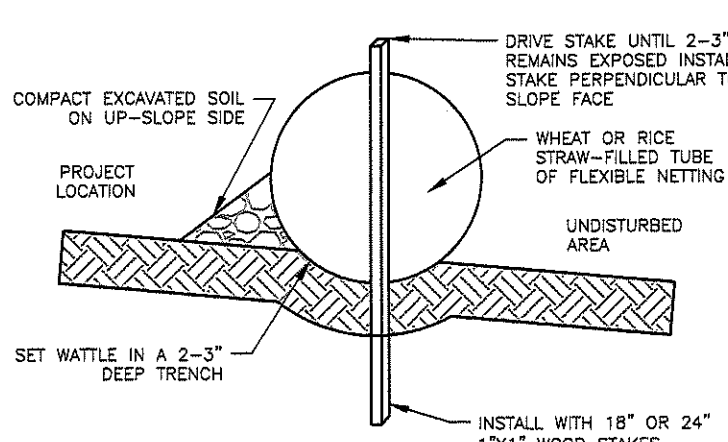
**KINGDOM OF THE HAWK TASTING ROOM**  
 113 PENDLETON HILL ROAD  
 MAP 122 LOT 2660  
 NORTH STONINGTON, CONNECTICUT

PREPARED FOR  
**KINGDOM OF THE HAWK, L.P.**



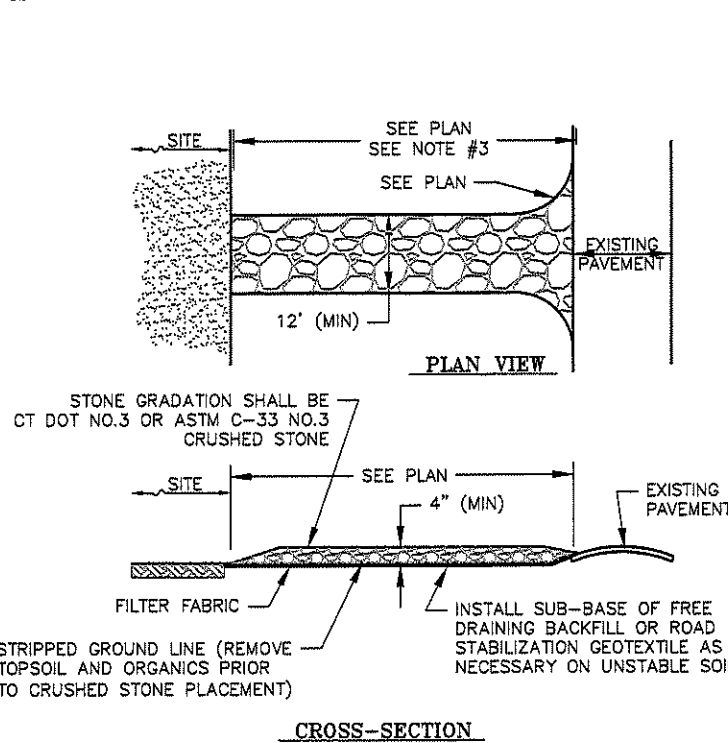
**C-4**

SLOPE STEEPNESS	MAXIMUM LENGTH (FT)
2:1	25
3:1	50
4:1	75
5:1 OR FLATTER	100



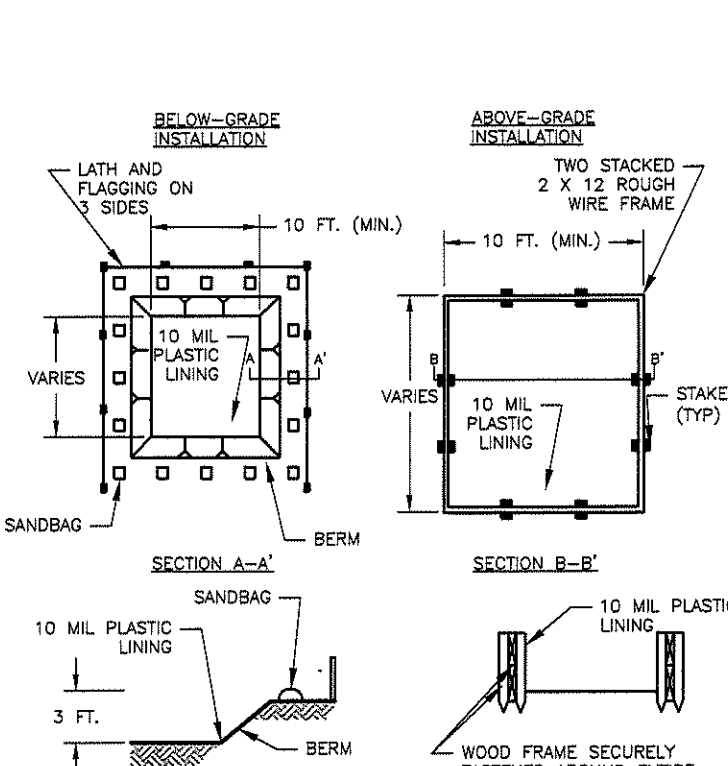
- NOTES:**
1. BEGIN AT THE LOCATION WHERE THE WATTLE IS TO BE INSTALLED BY EXCAVATING A 2-3" DEEP X 6" WIDE TRENCH ALONG THE CONTOUR OF THE SLOPE. EXCAVATED SOIL SHALL BE PLACED UP-SLOPE FROM THE ANCHOR TRENCH.
  2. PLACE THE WATTLE IN THE TRENCH SO THAT IT CONTOURS TO THE SOIL SURFACE. COMPACT THE SOIL FROM THE EXCAVATED TRENCH AGAINST THE WATTLE ON THE UP-HILL SIDE. ADJACENT WATTLES SHOULD TIGHTLY ABUT.
  3. SECURE THE WATTLE WITH 18-24" STAKES EVERY 3-4' WITH A STAKE ON EACH END. STAKES SHALL BE DRIVEN THROUGH THE MIDDLE OF THE WATTLES LEAVING AT LEAST 1/2" OF STAKE EXTENDING ABOVE THE WATTLE. STAKES SHALL BE DRIVEN PERPENDICULAR TO SLOPE FACE.
  4. MAX. DRAINAGE AREA ≤ 0.25 ACRES/100 LINEAR FEET.

**STRAW WATTLE**  
CA-BC-002



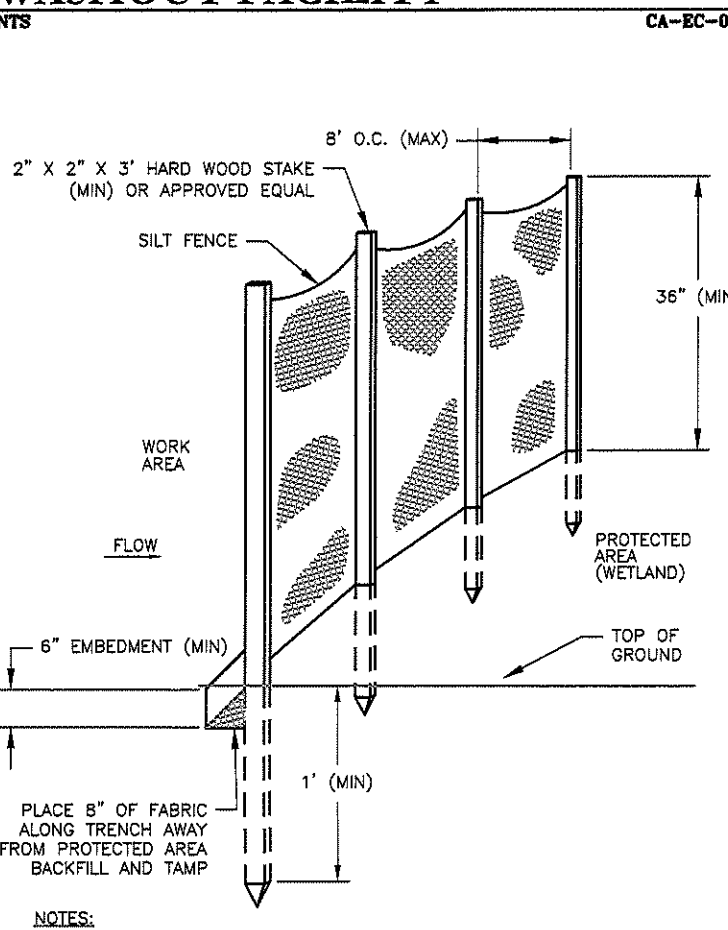
- NOTES:**
1. ENTRANCE WIDTH SHALL BE TWELVE (12) FEET WIDE MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
  2. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT INTO PAVED SURFACES. PERIODIC TOP DRESSING WITH ADDITIONAL STONE OR ADDITIONAL LENGTH AS CONDITIONS DEMAND BEFORE ANY REPAIRS USED TO TRAP SEDIMENT AS NEEDED. IMMEDIATELY REMOVE ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PAVED SURFACES. CLEANED AT THE END OF EACH DAY.

**TEMPORARY CONSTRUCTION EXIT**  
CA-BC-006



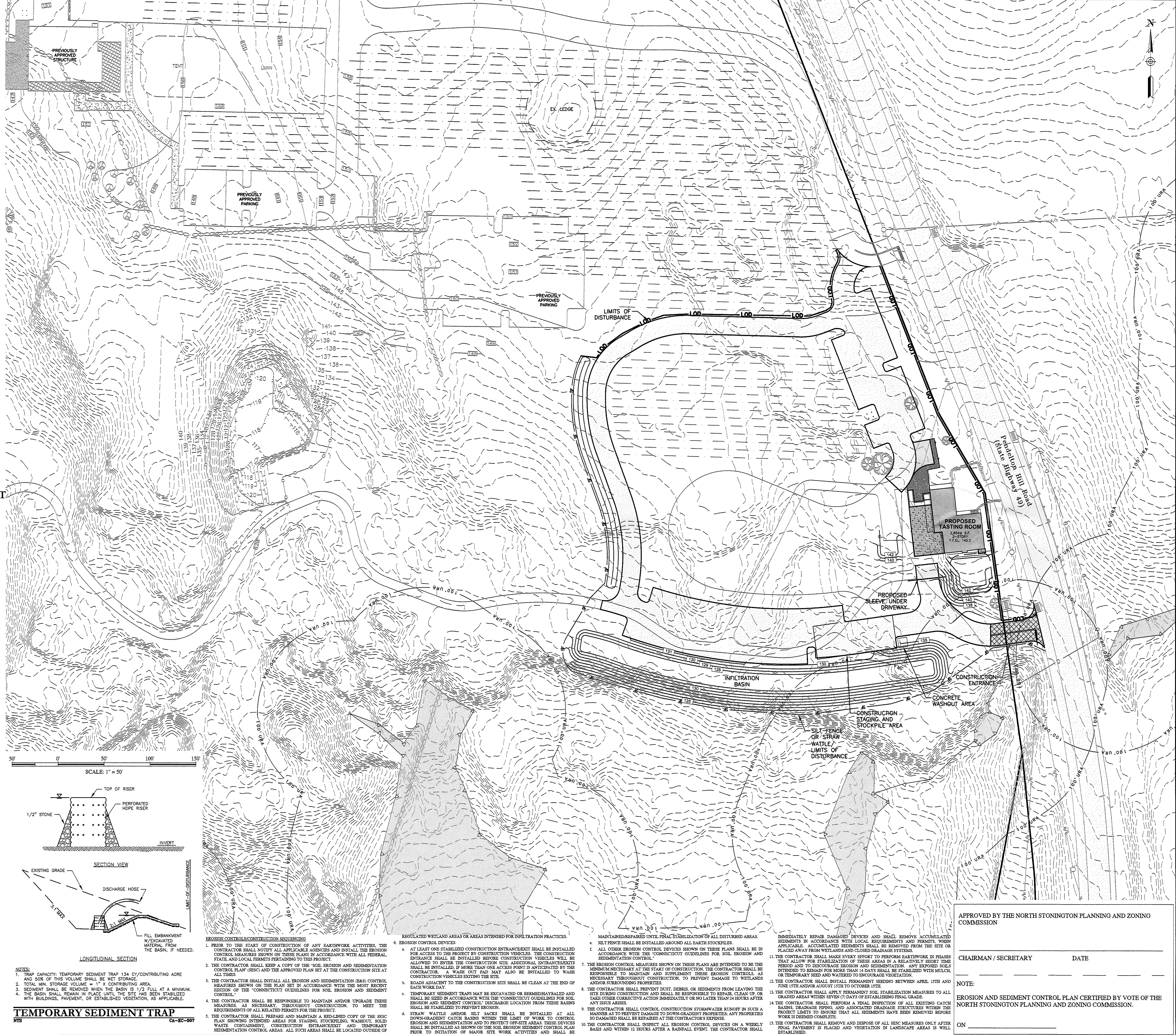
- NOTES:**
1. ACTUAL LAYOUT DETERMINED IN THE FIELD.
  2. LOCATE A MIN. OF 50 FEET FROM STORM DRAINS, OPEN CHANNELS, WATER BODIES, AND JURISDICTIONAL WETLANDS.
  3. SOIL BASE SHALL BE PREPARED FREE OF ROCKS OR OTHER DEBRIS THAT COULD CAUSE A TEAR IN THE LINER.
  4. THE BERM SHALL REMAIN IN PLACE UNTIL THE SITE HAS BEEN STABILIZED WITH STORM DRAINS, OPEN DITCHES, OR WATER BODIES, INCLUDING ALL JURISDICTIONAL WETLANDS.

**TEMPORARY CONCRETE WASHOUT FACILITY**  
CA-BC-009



- NOTES:**
1. SILT FENCE SHALL BE LOCATED AT 10' FROM TOE OF SLOPE FOR MAINTENANCE.
  2. WIRE FENCING - 8" MESH OPENING (MAX) AND 14 GAUGE (MIN).
  3. MAINTAIN UNTIL UP-GRADE AREAS HAVE BEEN PERMANENTLY STABILIZED.

**SILT FENCE**  
CA-BC-001



SCALE: 1" = 50'

**TEMPORARY SEDIMENT TRAP**  
CA-BC-007



- NOTES:**
1. TRAP CAPACITY: TEMPORARY SEDIMENT TRAP 134 CY/CONTRIBUTING ACRE
  2. TOTAL MIN. STORAGE VOLUME = 1' X CONTRIBUTING AREA.
  3. SEDIMENT SHALL BE REMOVED WHEN THE BASIN IS 1/2 FULL AT A MINIMUM.
  4. THE BASIN SHALL REMAIN IN PLACE UNTIL THE SITE HAS BEEN STABILIZED WITH BUILDINGS, PAVEMENT, OR ESTABLISHED VEGETATION, AS APPLICABLE.

- EROSION CONTROL/CONSTRUCTION SCHEDULING**
1. PRIOR TO THE START OF CONSTRUCTION OF ANY EARTHWORK ACTIVITIES, THE CONTRACTOR SHALL NOTIFY ALL APPLICABLE AGENCIES AND INSTALL THE EROSION CONTROL MEASURES SHOWN ON THESE PLANS IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL PERMITS PERTAINING TO THIS PROJECT.
  2. THE CONTRACTOR SHALL KEEP A COPY OF THE "SOIL EROSION AND SEDIMENTATION CONTROL PLAN" (SESC) AND THE APPROVED PLAN SET AT THE CONSTRUCTION SITE AT ALL TIMES.
  3. THE CONTRACTOR SHALL INSTALL ALL EROSION AND SEDIMENTATION (E&S) CONTROL MEASURES SHOWN ON THE PLAN SET IN ACCORDANCE WITH THE MOST RECENT EDITION OF THE "CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL".
  4. THE CONTRACTOR SHALL BE RESPONSIBLE TO MAINTAIN AND/OR UPGRADE THESE MEASURES AS NECESSARY THROUGHOUT CONSTRUCTION TO MEET THE REQUIREMENTS OF ALL REGULATORY AGENCIES FOR THIS PROJECT.
  5. THE CONTRACTOR SHALL PREPARE AND MAINTAIN A RED-LINED COPY OF THE SESC PLAN SHOWING INTERIM AREAS FOR STAGING, STOCKPILING, WASHOUT, SOIL WASTE CONTAINMENT, CONSTRUCTION ENTRANCE/EXIT AND TEMPORARY SEDIMENTATION CONTROL AREAS. ALL SUCH AREAS SHALL BE LOCATED OUTSIDE OF

- REGULATED WETLAND AREAS OR AREAS INTENDED FOR INFILTRATION PRACTICES**
6. EROSION CONTROL DEVICES
    - a. AT LEAST ONE STABILIZED CONSTRUCTION ENTRANCE/EXIT SHALL BE INSTALLED FOR ACCESS TO THE PROJECT BY CONSTRUCTION VEHICLES. THE CONSTRUCTION ENTRANCE SHALL BE INSTALLED BEFORE CONSTRUCTION VEHICLES WILL BE ALLOWED TO ENTER THE CONSTRUCTION SITE. ADDITIONAL ENTRANCE/EXITS SHALL BE INSTALLED IF MORE THAN ONE ACCESS POINT IS ANTICIPATED BY THE CONTRACTOR. A WASH OUT PAD MAY ALSO BE INSTALLED TO WASH CONSTRUCTION VEHICLES EXITING THE SITE.
    - b. ROADS ADJACENT TO THE CONSTRUCTION SITE SHALL BE CLEAN AT THE END OF EACH WORKDAY.
    - c. TEMPORARY SEDIMENT TRAPS MAY BE EXCAVATED OR BERMED/DYKED AND SHALL BE SIZED IN ACCORDANCE WITH THE "CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL". DISCHARGE LOCATIONS FROM THESE BASINS SHALL BE STABILIZED TO PREVENT EROSION.
    - d. STRAW WATTLES AND/OR SILT BARRIERS SHALL BE INSTALLED AT ALL DOWN-GRADIENT CATCH BASINS WITHIN THE LIMIT OF WORK TO CONTROL EROSION AND SEDIMENTATION AND TO PROTECT SENSITIVE AREAS. THESE DEVICES SHALL BE INSTALLED AS SHOWN ON THE SOIL EROSION SEDIMENT CONTROL PLAN PRIOR TO INITIATION OF MAJOR SITE WORK ACTIVITIES AND SHALL BE

- MANTAINED REPAIRED UNTIL FINAL STABILIZATION OF ALL DISTURBED AREAS**
7. THE CONTRACTOR SHALL MAINTAIN AND/OR UPGRADE THESE MEASURES AS NECESSARY THROUGHOUT CONSTRUCTION TO MEET THE REQUIREMENTS OF ALL REGULATORY AGENCIES FOR THIS PROJECT.
  8. THE CONTRACTOR SHALL PREPARE AND MAINTAIN A RED-LINED COPY OF THE SESC PLAN SHOWING INTERIM AREAS FOR STAGING, STOCKPILING, WASHOUT, SOIL WASTE CONTAINMENT, CONSTRUCTION ENTRANCE/EXIT AND TEMPORARY SEDIMENTATION CONTROL AREAS. ALL SUCH AREAS SHALL BE LOCATED OUTSIDE OF

- CONSTRUCTION SCHEDULING**
9. THE CONTRACTOR SHALL MAINTAIN AND/OR UPGRADE THESE MEASURES AS NECESSARY THROUGHOUT CONSTRUCTION TO MEET THE REQUIREMENTS OF ALL REGULATORY AGENCIES FOR THIS PROJECT.
  10. THE CONTRACTOR SHALL PREPARE AND MAINTAIN A RED-LINED COPY OF THE SESC PLAN SHOWING INTERIM AREAS FOR STAGING, STOCKPILING, WASHOUT, SOIL WASTE CONTAINMENT, CONSTRUCTION ENTRANCE/EXIT AND TEMPORARY SEDIMENTATION CONTROL AREAS. ALL SUCH AREAS SHALL BE LOCATED OUTSIDE OF
  11. THE CONTRACTOR SHALL MAKE EVERY EFFORT TO PERFORM EARTHWORK IN PHASES THAT ALLOW FOR STABILIZATION OF THESE AREAS IN A RELATIVELY SHORT TIME PERIOD AND TO DISCOURAGE EROSION AND SEDIMENTATION. ANY EXPOSED SOILS INTENDED TO REMAIN FOR MORE THAN 14 DAYS SHALL BE STABILIZED WITH MULCH, OR TEMPORARY SEED AND WATERED TO ENCOURAGE VEGETATION.
  12. THE CONTRACTOR SHALL INSTALL PERMANENT VEGETATION BETWEEN APRIL 15TH AND THE 15TH AND/OR AUGUST 15TH TO OCTOBER 15TH.
  13. THE CONTRACTOR SHALL APPLY PERMANENT SOIL STABILIZATION MEASURES TO ALL GRADED AREAS WITHIN SEVEN (7) DAYS OF ESTABLISHING FINAL GRADE.
  14. THE CONTRACTOR SHALL PERFORM A FINAL INSPECTION OF ALL EXISTING CATCH BASINS, DRAINAGE PIPING, AND ASSOCIATED DRAINAGE STRUCTURES WITHIN THE PROJECT LIMITS TO ENSURE THAT ALL SEDIMENTS HAVE BEEN REMOVED BEFORE WORK IS DEEMED COMPLETE.
  15. THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL SESC MEASURES ONLY AFTER FINAL PAYMENT IS PLACED AND VEGETATION IN LANDSCAPE AREAS IS WELL ESTABLISHED.

**CHERENZIA & ASSOCIATES, LTD.**  
Civil Engineers  
Land Use Planners  
Environmental Engineers

99 Mechanic St.  
Pawcatuck, CT 06379  
Tel: 860.629.6500  
Fax: 860.599.6090

P.O. Box 513  
Westerly, RI 02891  
Tel: 401.596.7747

www.cherenzia.com

**LEGEND**

- PROPOSED BUILDING
- PROPOSED GRASS PARKING/DRIVE
- PROPOSED PERVIOUS PAVERS (SEE DETAIL ON SHEET C-7)
- PROPOSED BITUMINOUS PAVEMENT (SEE DETAIL ON SHEET C-7)

**PLAN REVISIONS**

REV. NO.	DATE	DESCRIPTION	DWN BY	CHK BY

SCALE: 1" = 50'  
CA JOB #219099  
MAY 4, 2021

DRAWN BY: SETB  
CHECK BY: SFC

**ISSUED FOR PERMITTING**

**SOIL EROSION SEDIMENTATION CONTROL PLAN**

**KINGDOM OF THE HAWK TASTING ROOM**  
113 PENDELTON HILL ROAD  
MAP 122 LOT 2660  
NORTH STONINGTON, CONNECTICUT

PREPARED FOR  
**KINGDOM OF THE HAWK, LLC.**

APPROVED BY THE NORTH STONINGTON PLANNING AND ZONING COMMISSION

CHAIRMAN/ SECRETARY DATE

NOTE:  
EROSION AND SEDIMENT CONTROL PLAN CERTIFIED BY VOTE OF THE NORTH STONINGTON PLANNING AND ZONING COMMISSION.



**C-5**

- SYSTEM NOTES:**
- LEACHFIELD TO BE GST 624.
  - REMOVE ALL LOAM AND ROOTS BENEATH LEACHFIELD.
  - SEPTIC TANK TO BE 1500 GALLON PRECAST CONCRETE RISER AND MANHOLE TO BE INSTALLED AT GRADE.
  - SOLID DISTRIBUTION PIPE FOLLOWING SEPTIC TANK SHALL BE 4" PVC SCHEDULE 40 ASTM D 1785 OR EQUAL.
  - BUILDING SEWER FROM FOUNDATION WALL TO SEPTIC TANK SHALL BE 4" PVC SCHEDULE 40 ASTM D 1785 OR EQUAL.
  - REMOVE ALL TREES AND BRUSH FOR A DISTANCE OF 10' BEYOND PROPOSED LEACHFIELD ON ALL SIDES.
  - THERE ARE NO EXISTING OR PROPOSED WELLS WITHIN 75' OF PROPOSED SEPTIC SYSTEM.
  - ALL DISTURBED AND/OR FILL AREAS TO BE GRADED TO FINISH GRADE AND SEEDED WITH GRASS.
  - SHOULD ANY SIGNIFICANT VARIATIONS FROM TEST HOLE DATA SHOWN (LEDGE, WATER, MOTTILING, SOIL TYPE) BE DISCOVERED BY THE CONTRACTOR, THE ENGINEER SHALL BE NOTIFIED PRIOR TO CONSTRUCTION OF THE SYSTEM.
  - SDS DESIGN AND APPROVAL IS BASED UPON SOIL EVALUATIONS CONDUCTED IN ACCORDANCE WITH CONNECTICUT PUBLIC HEALTH CODE - ON-SITE SEWAGE DISPOSAL REGULATIONS AND TECHNICAL STANDARDS FOR SUBSURFACE SEWAGE DISPOSAL SYSTEMS. LOCATION OF SOIL EVALUATIONS ARE SHOWN ON THE SITE PLAN. UNFORSEEN SOIL CONDITIONS OUTSIDE THE REPRESENTATIVE SOIL EVALUATIONS MAY RESULT IN ADDITIONAL EXCAVATION OF UNSUITABLE MATERIAL TO BE REMOVED AND/OR PLACED DURING CONSTRUCTION.

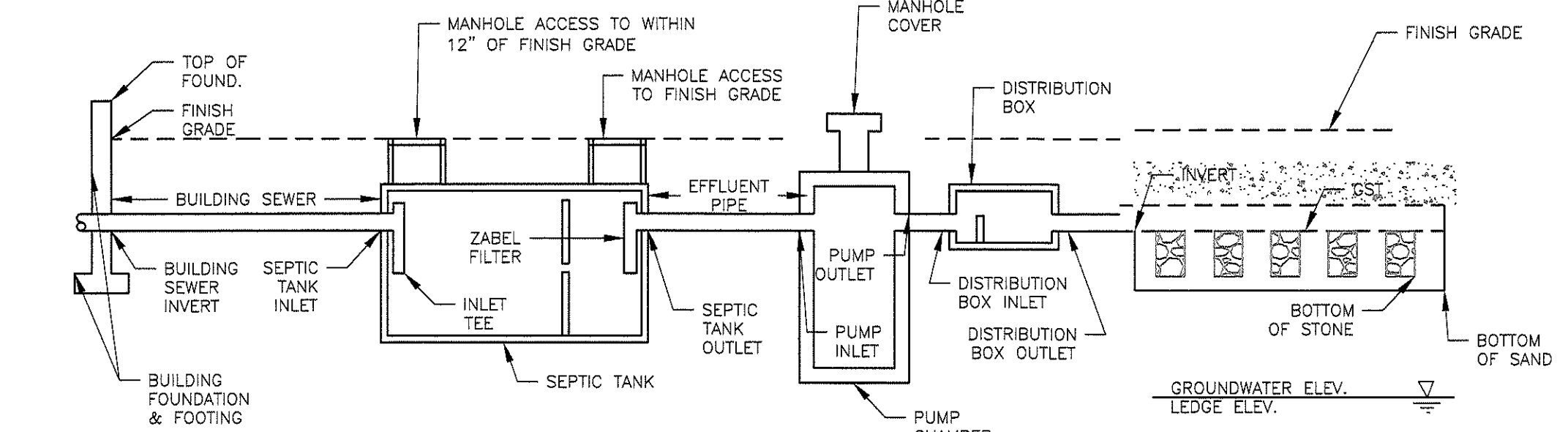
**SUBSURFACE SEWAGE DISPOSAL SYSTEM DESIGN DATA:**

- ONE (1) BEDROOM RESIDENCE. DESIGN PERC. RATE OF LESS THAN 10.0 MPI FLOW RATE = 1 BEDROOM X 150 GPD = 150 GPD FIFTY-FIVE (55) BAR/COCKTAIL LOUNGE SEATS (NO MEALS) FLOW RATE = 55 SEATS X 15 GPD = 825 GPD TOTAL DESIGN FLOW = 150 GPD + 825 GPD = 975 GPD
- ELA ONE BEDROOM RESIDENCE. TABLE 6 = 375 SF / 2 = 187.5 SF FIFTY-FIVE SEATS. TABLE 8 = 825 GPD / 0.8 GPD/SF = 1,032 SF TOTAL ELA = 187.5 SF + 1,032 SF = 1,219.5 SF
- USE GST 624 EFFECTIVE LEACHING AREA = 18.1 SF/LF 1,219.5 SF / 18.1 SF/LF = 68 LF REQUIRED DESIGN USE GST 624 2 ROWS OF 34 FEET GST 624 = 68 LF (2 X 68 LF X 18.1 SF/LF = 1,239.8 SF EFFECTIVE LEACHING AREA SUPPLIED).
- NO PLANS FOR LARGE TUB OR GARBAGE DISPOSAL IN PROPOSED DEVELOPMENT.

**MSS** - RECEIVING SOIL DEPTH GREATER THAN 60" THEREFORE MSS IS NOT REQUIRED.

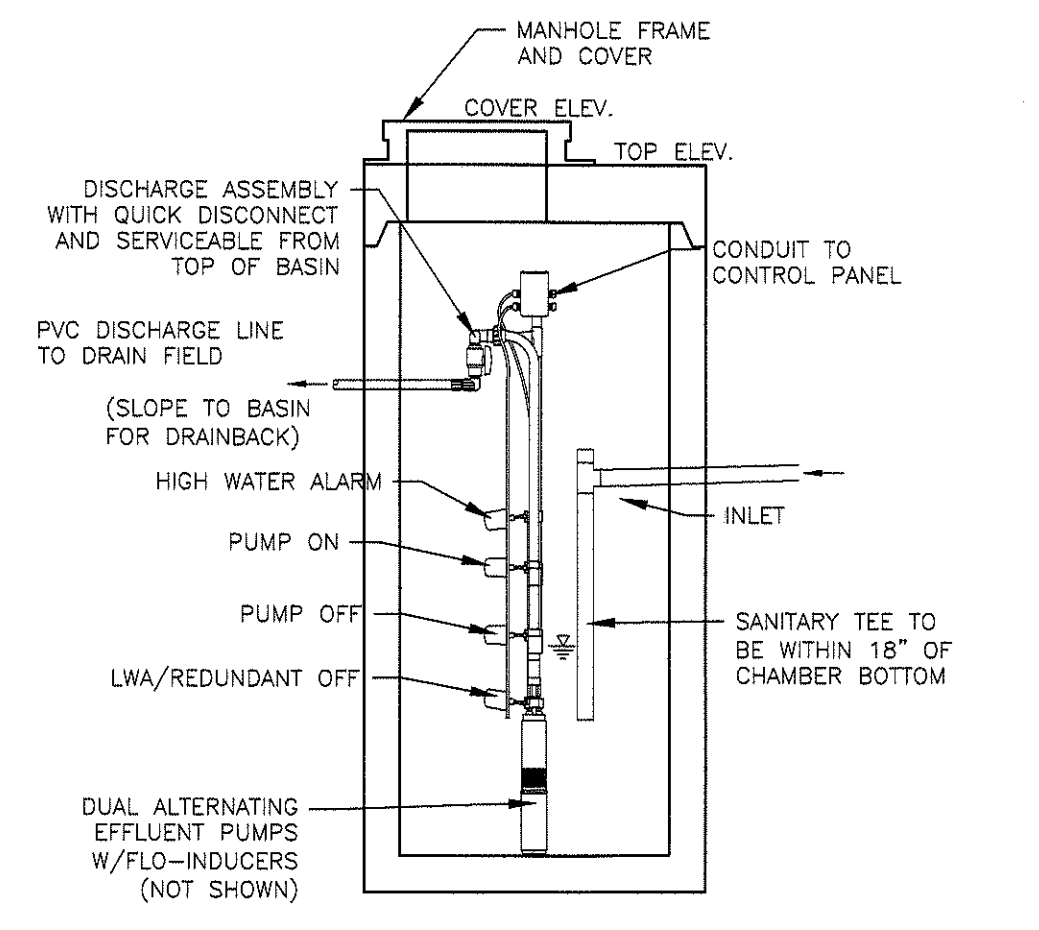
**PUMP CALCULATIONS**

- DESIGN FLOW FROM PUMP CHAMBER TO LEACHFIELD IS 81.25 GALLONS EACH DOSE (975 GALLONS/12 DOSES = 81.25 GAL/DOSE).
- DRAIN BACK FOR 92 FEET OF 2" FORCE MAIN IS 14.69 GALLONS.
- TOTAL VOLUME TO BE PUMPED PER CYCLE IS 95.94 GALLONS.
- DIAMETER PUMP CHAMBER = 12.56 SQ.FT. X 1 FT = 12.56 SQ.FT. 12.56 CU.FT. X 7.48 GAL/CU.FT. = 93.95 GAL/FT IN PUMP CHAMBER. 95.94 GALLONS / 93.95 GAL/CU.FT. = 1.02 FT BETWEEN ON AND OFF ELEVATIONS. TOTAL PUMP CHAMBER VOLUME FROM INLET INVERT TO BOTTOM: (140.45 - 134.2) X 95.94 = 599.63 GALLONS.
- ALL PUMPS SHALL BE EQUIPPED WITH A HIGH WATER LEVEL VISIBLE AND AUDIBLE ALARM POWERED BY A CIRCUIT SEPARATE FROM THE PUMP POWER. THE ALARM SHALL BE LOCATED IN A NORMALLY OCCUPIED AREA OF THE FACILITY.
- DISCHARGE ASSEMBLY DRAWN TO SHOW KEY COMPONENTS - ALL PIPING AND FITTINGS SHALL BE INSTALLED TO ENSURE DRAIN-BACK INTO THE PUMP BASIN TO AVOID FREEZING OF SHALLOW BURY DISCHARGE PIPING (WHERE APPLICABLE).

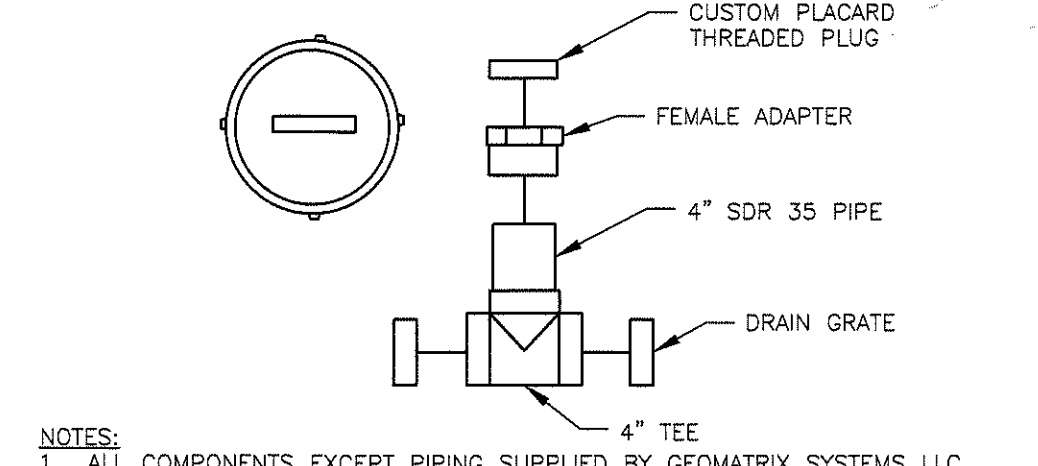


<b>BUILDING SEWER</b>	FINISH FLOOR ELEV.: 152.0	<b>PUMP CHAMBER (LARGE)</b>	PUMP TYPE: DUAL ALT. PFS005	GST 624	FINISH GRADE: 150.1-150.6
FINISH GRADE: 151.9±	FINISH GRADE INVERT: 149.75	PUMP CHAMBER DIAMETER: 4 FEET	PUMP CHAMBER COVER ELEV.: 149.0	INVERT: 148.67	INVERT: 148.67
BUILDING SEWER LENGTH: 22 FEET	BUILDING SEWER SLOPE: 2.3%	PUMP CHAMBER TOP ELEV.: 148.0	PUMP CHAMBER INLET INVERT: 146.75	BOTTOM OF SAND: 146.5	BOTTOM OF SAND: 146.5
BUILDING SEWER PIPE SIZE/TYP: 4" SDR 35 PVC		PUMP CHAMBER INLET INVERT: 147.25	PUMP CHAMBER OUTLET INVERT: 147.25	10' FILL PERIMETER MIN. ELEV.: 148.67	DISCHARGE PIPE SIZE: 4" SCH 40 PVC
		HIGH LEVEL ALARM ELEV.: 148.5	PUMP ON ELEV.: 148.0	LEACHFIELD DESIGN POINT	
		PUMP OFF ELEV.: 145.79	SEPTIC TANK INLET INVERT: 149.25	GROUNDWATER ELEV.: NOT APPLICABLE	
		SEPTIC TANK INLET INVERT: 149.0	SEPTIC TANK OUTLET INVERT: 141.0	GROUNDWATER SEPARATION: NOT APPLICABLE	
		EFFLUENT PIPE LENGTH: 5 FEET	DISCHARGE ASSEMBLY SIZE: 2" SCH 40 PVC	LEDGE ELEV.: 142.34	LEDGE SEPARATION: 4.16 FEET
		DISCHARGE PIPE SIZE: 2" SCH 40 PVC			
		<b>DISTRIBUTION BOX</b>	FINISH GRADE: 150.6		
		DIST. BOX INLET INVERT: 149.01	DIST. BOX OUTLET INVERT: 148.84		

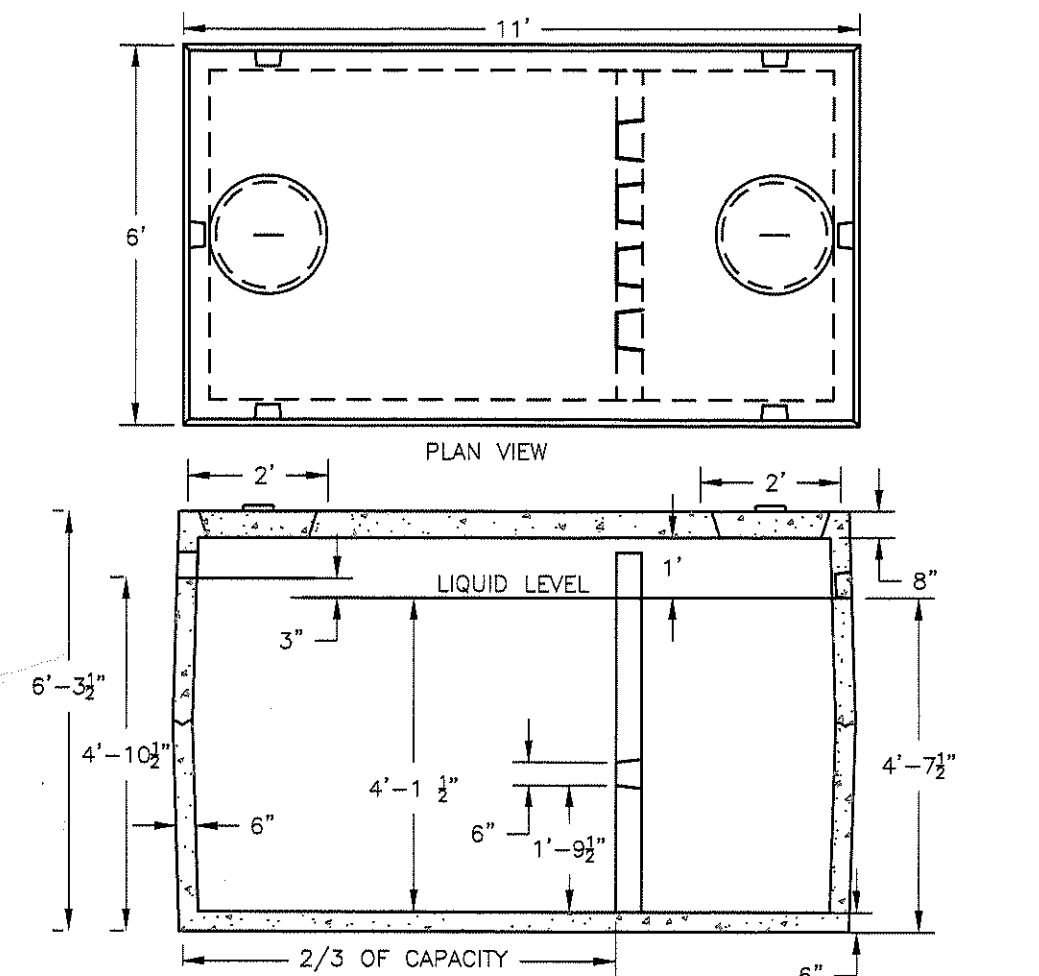
**SEPTIC SCHEMATIC**  
NTS CA-0-000



**PUMP CHAMBER DETAIL**  
NTS CA-0-01B



**GST INSPECTION PORT**  
NTS CA-0-004F2



- NOTES:**
- ALL JOINTS SEALED WITH BUTYL RUBBER SEALANT.
  - ALL INLETS AND OUTLETS SHALL HAVE WATER TIGHT STATE APPROVED SEALS.
  - APPROXIMATE TANK WEIGHT: 25,100 LBS.
  - ALL TANKS REQUIRING RISERS SHALL MAINTAIN THE ORIGINAL COVERS ON THE TANKS, HAVE RISER COVERS THAT WEIGH AT LEAST 59 LBS. AND/OR INSTALL A SAFETY DEVICE BELOW THE RISER TO PREVENT INDIVIDUALS FROM FALLING INTO A TANK. ALL BELOW GRADE TANK OR RISER COVER HANDLES SHALL CONTAIN OR BE FITTED WITH A MATERIAL THAT CAN BE LOCATED WITH A METAL DETECTOR.

**1,500 GALLON H-20 TWO COMPARTMENT SEPTIC TANK**  
NTS CA-0-008A.4

**LLHD**  
Ledge Light Health District

Promoting healthy communities

**CHERENZIA & ASSOCIATES, LTD.**  
Civil Engineers  
Land Surveyors  
Land Use Planners  
Environmental Engineers

99 Mechanic St.  
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P.O. Box 513  
Westbury, CT 02891  
Tel: 401.596.7747

www.cherenzia.com

**SITE INVESTIGATION FOR A SUBSURFACE SEWAGE DISPOSAL SYSTEM**  
Property Address: 113 Pendleton Hill Rd Town: North Stonington

**DEEP TEST PIT DATA/SOIL DESCRIPTIONS**

TEST PIT: 1	TEST PIT: 2	TEST PIT: 3	TEST PIT: 4
0-108 Fill Unsuitable	0-90 Fill Unsuitable	0-80 Fill Unsuitable	0-84 Unsuitable
Mottles:	Mottles:	Mottles:	Mottles:
GW:	GW:	GW:	GW: 74
Ledge:	Ledge:	Ledge:	Ledge:
Roots to:	Roots to:	Roots to:	Roots to:
Restrictive:	Restrictive:	Restrictive:	Restrictive:
TEST PIT: 5	TEST PIT: 6	TEST PIT: 7	
0-84 Fill Unsuitable	0-24 Top Soil 24-54 Light Br, med sand 54-87 Gray Tan, Med coarse with cobbles The street side of the test hole witnessed faint line of fill.	near a catch basin (needs to be relocated). 0-54 Fill 54-86	
Mottles:	Mottles:	Mottles:	
GW:	GW:	GW:	
Ledge:	Ledge:	Ledge:	
Roots to:	Roots to:	Roots to:	
Restrictive:	Restrictive:	Restrictive:	

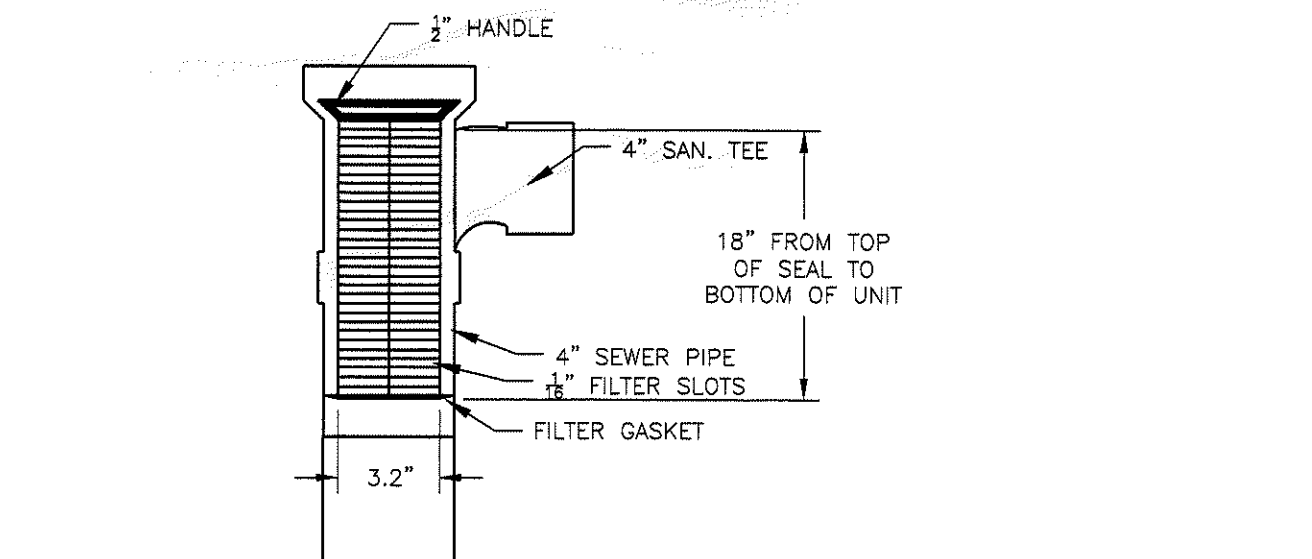
GROUNDWATER TABLE (Near max., below max., etc.):  
SOIL MOISTURE (high, medium, low, etc.):

**PERCOLATION TEST RESULTS**  
PERCOLATION TEST 2/10/2021

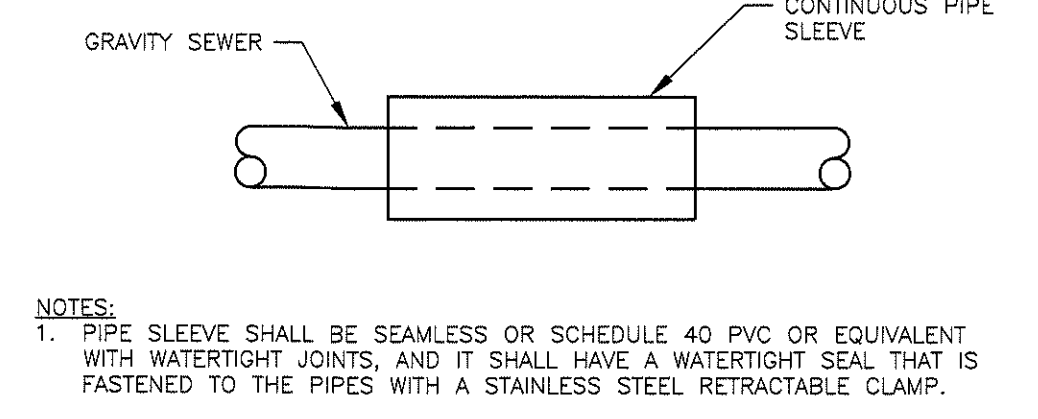
WITNESSED BY SERGIO F. CHERENZIA, PE FROM CHERENZIA & ASSOCIATES, LTD.

TIME INTERVAL	DEPTH (IN)	PERC. RATE (MIN/IN)
0	0	0.00
10	6	1.67
20	11	2.00
30	13.5	4.00
40	15	6.67
50	16	10.00
60	17.5	6.67

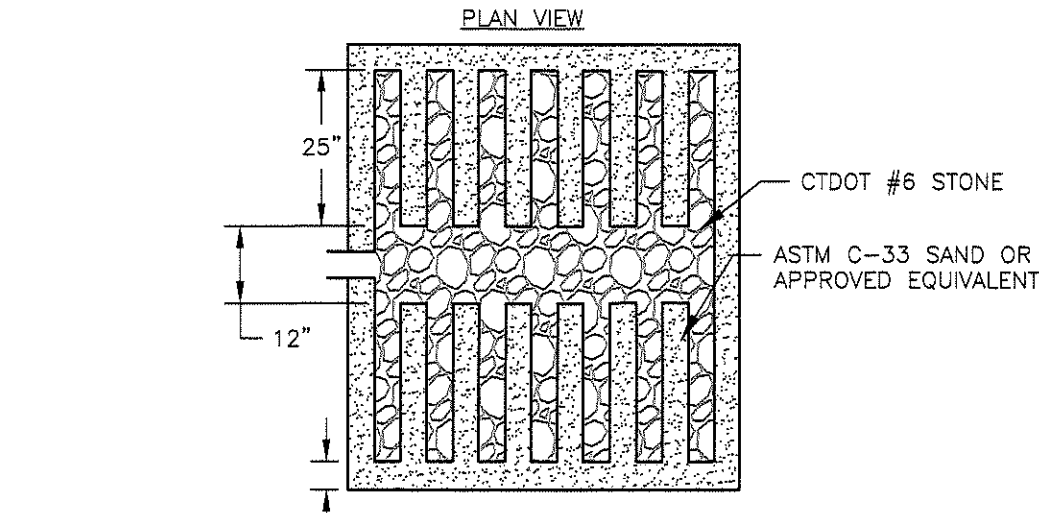
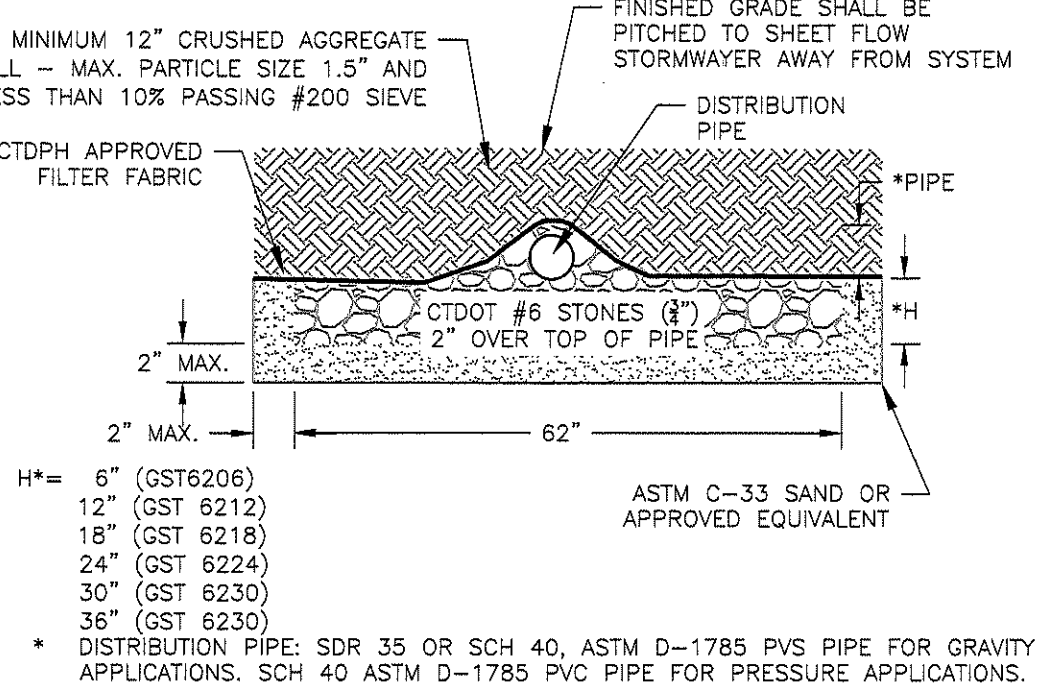
TOTAL DEPTH: 24 INCHES FROM ORIGINAL GRADE  
AVERAGE PERC RATE: 4.43  
MAXIMUM PERC RATE: 10.00



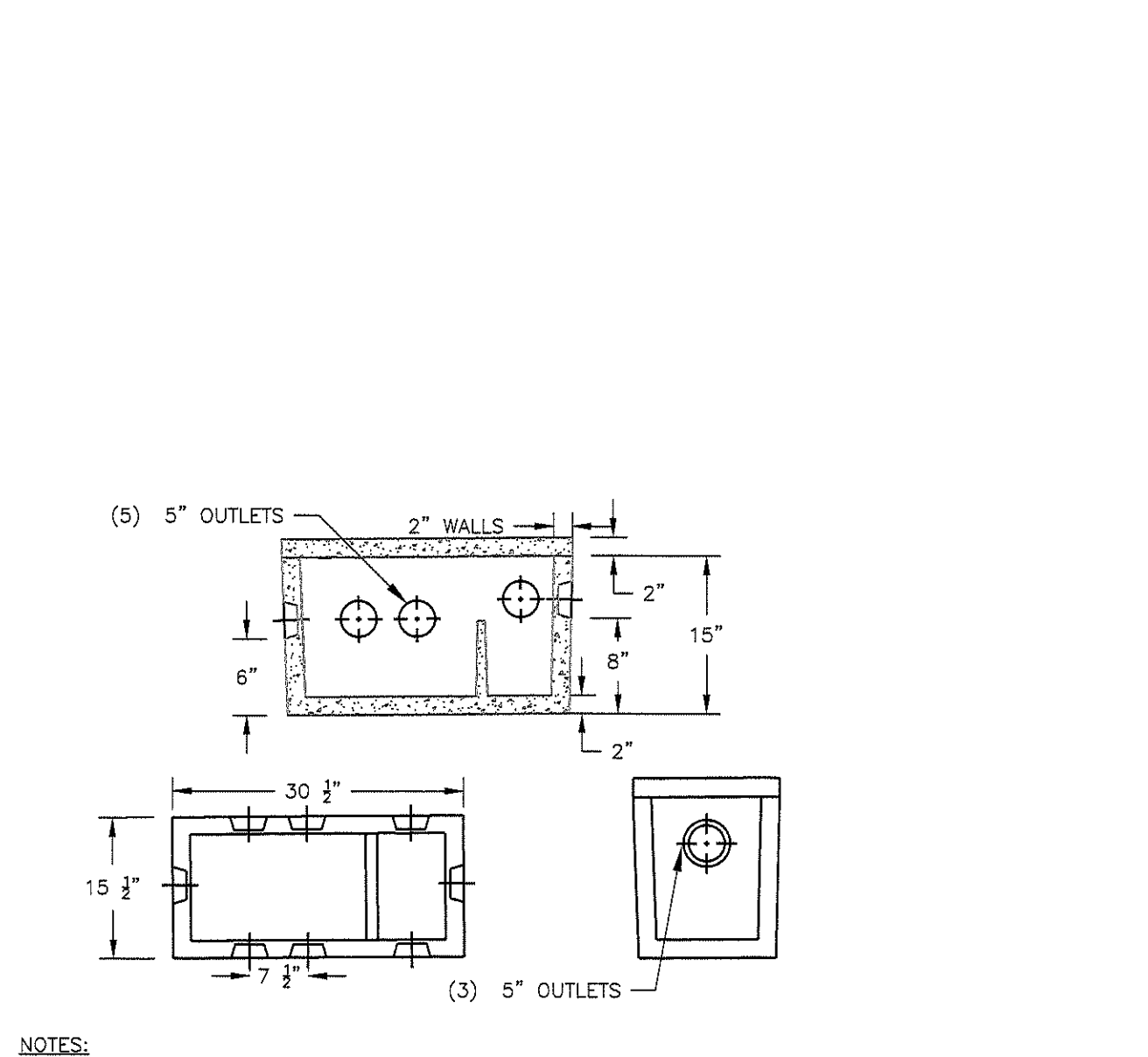
**ZABEL FILTER DETAILS**  
NTS CA-0-007A



**SEPTIC SLEEVE**  
NTS CA-0-040



**DB-5 DISTRIBUTION BOX**  
NTS CA-0-02B



**PREPARED FOR KINGDOM OF THE HAWK, LLC.**

**PLAN REVISIONS**

REV. NO.	DATE	DESCRIPTION	DWN BY	CHK BY

SCALE: ---  
CA JOB #219099  
MAY 4, 2021

DRAWN BY: SETB  
CHECK BY: SFC

**ISSUED FOR PERMITTING**

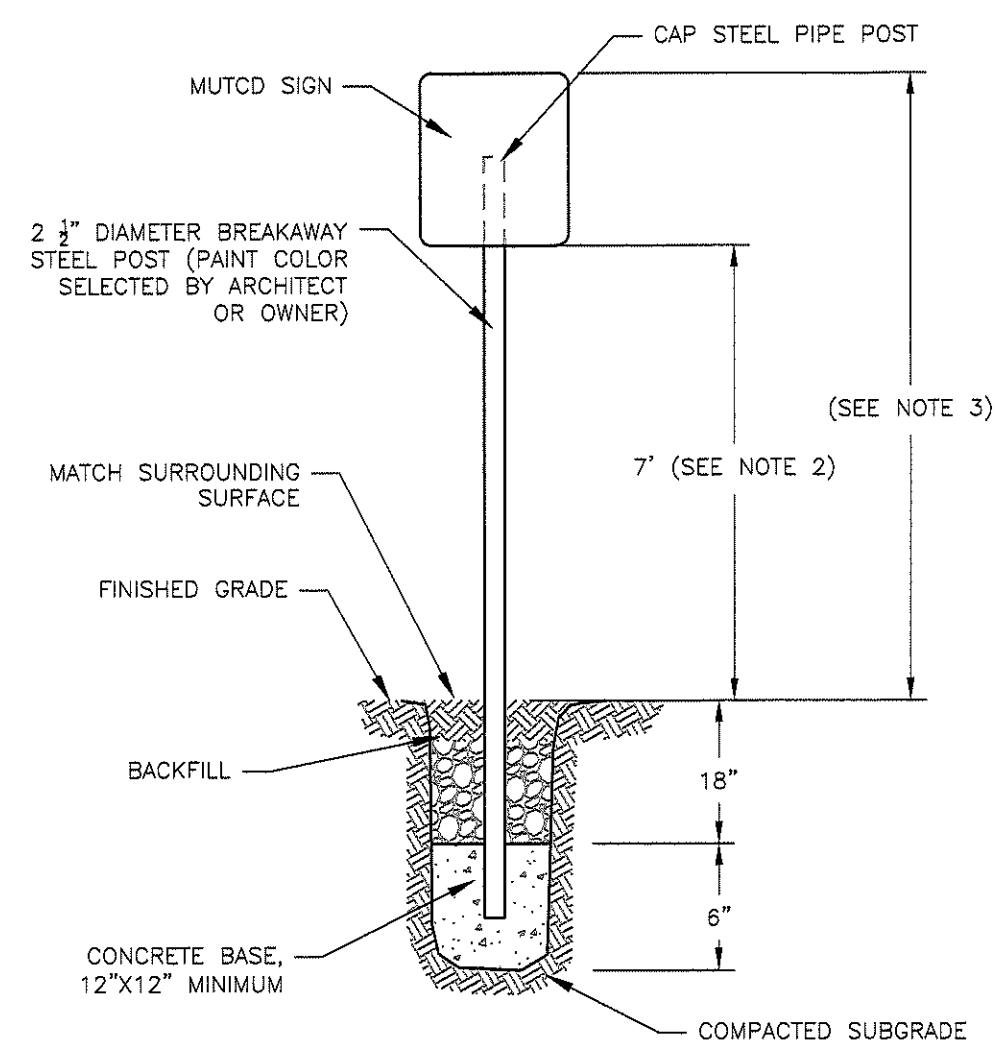
**DETAILS SHEET 1**

**KINGDOM OF THE HAWK TASTING ROOM**  
113 PENDLETON HILL ROAD  
MAP 122 LOT 2660  
NORTH STONINGTON, CONNECTICUT

PREPARED FOR  
**KINGDOM OF THE HAWK, LLC.**

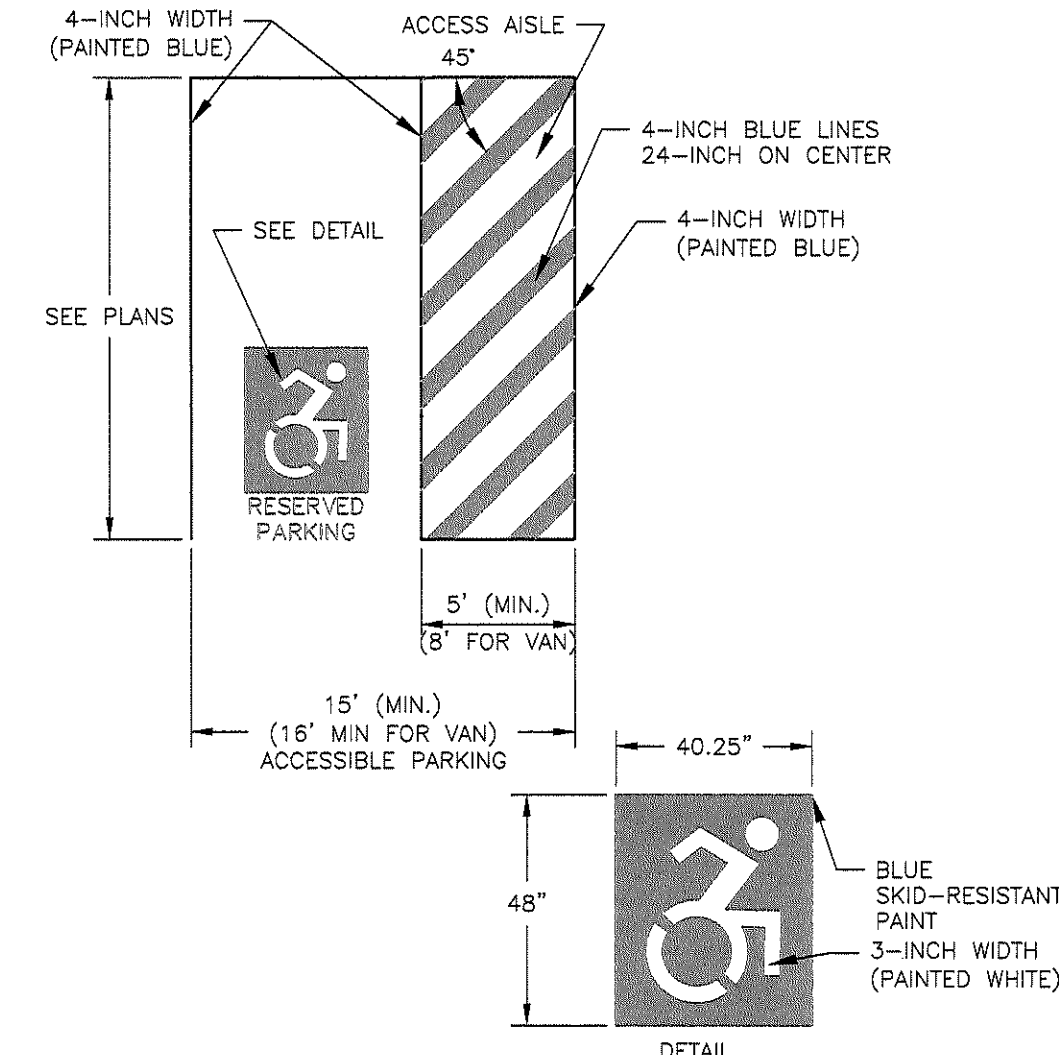
STATE OF CONNECTICUT  
SERRA  
No. 07288  
PROFESSIONAL ENGINEER

**C-6**



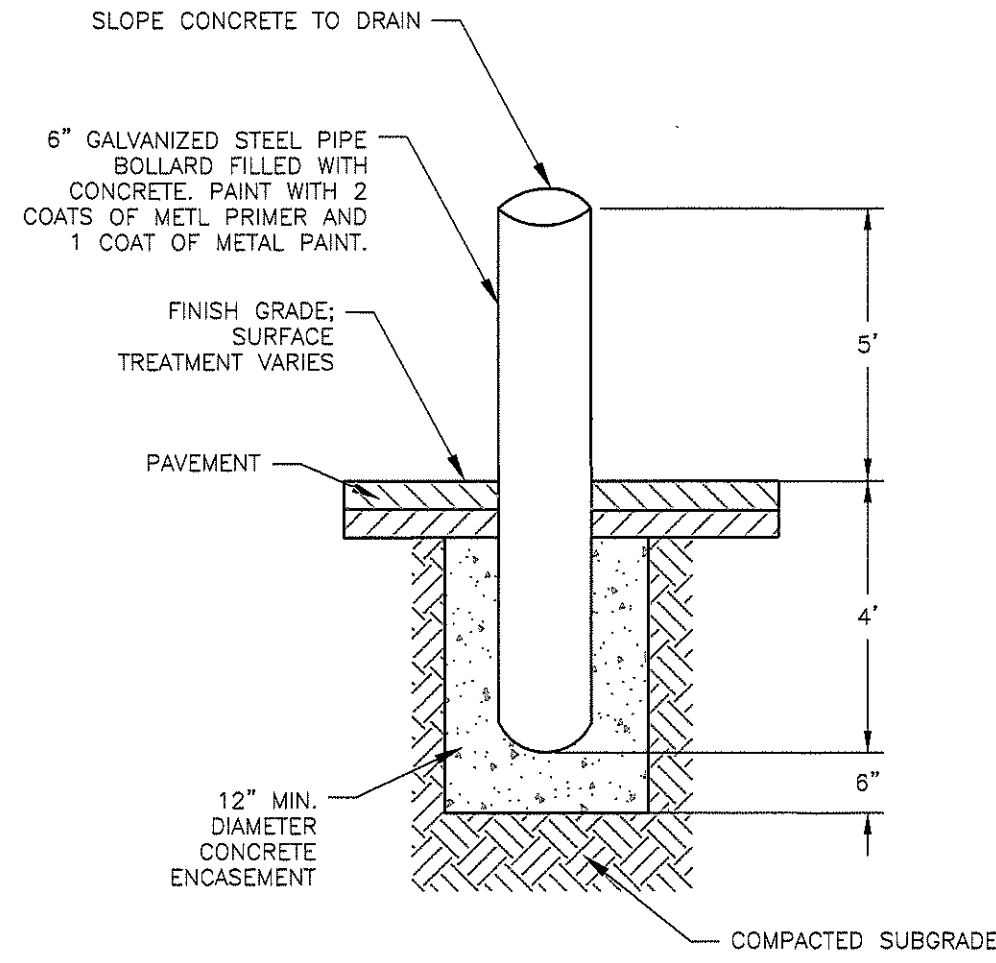
NOTES:  
 1. FOR USE IN LANDSCAPE AREAS AND SIDEWALKS ONLY. NOT FOR USE IN PARKING LOTS OR TRAVELED WAYS.  
 2. FOR ADA SIGNAGE, THIS DIMENSION SHALL BE 5' (MIN.)  
 3. FOR ADA SIGNAGE, THIS DIMENSION SHALL BE 8' (MAX.)

**SIGN POST**  
 NTS CA-SS-001

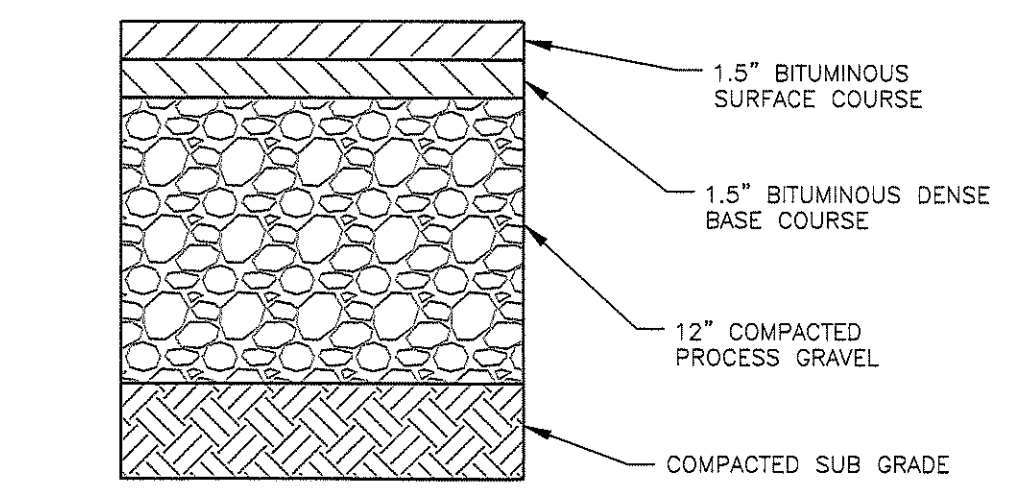


NOTES:  
 1. ALL DIMENSIONS MEASURED FROM CENTER TO CENTER OF 4-INCH PAVEMENT STRIPING.  
 2. 8-FOOT STALL WIDTH REFERS TO 8-FOOT BETWEEN CENTER LINE OF PAVEMENT MARKINGS.  
 3. ALL SLOPES THROUGHOUT THE ACCESSIBLE PARKING AND AISLE AREAS SHALL NOT EXCEED 2%

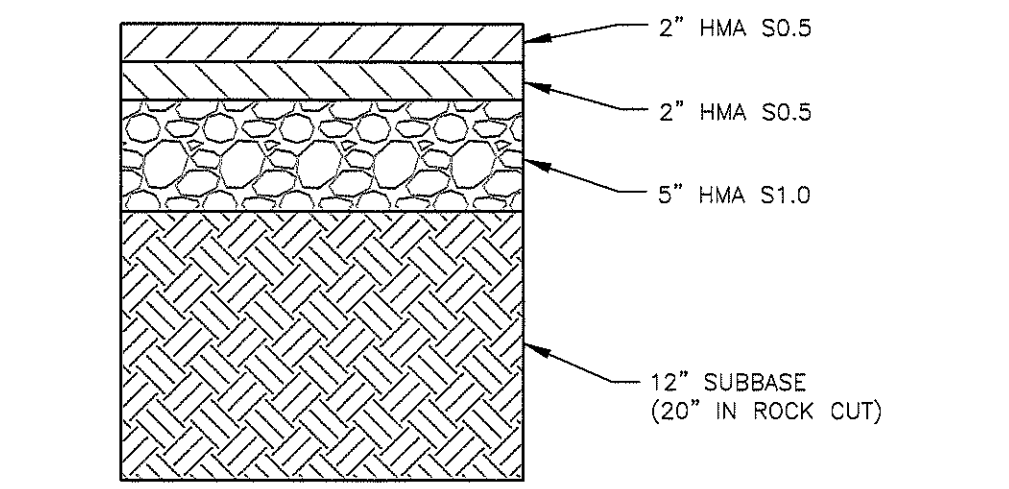
**ADA SPACES**  
 NTS CA-SS-004CT



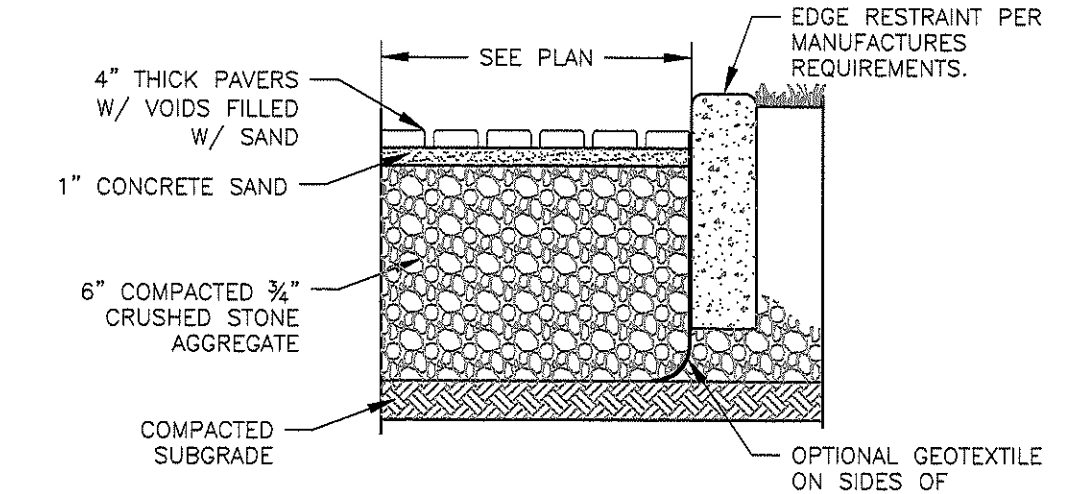
**BOLLARD**  
 NTS CA-M-004



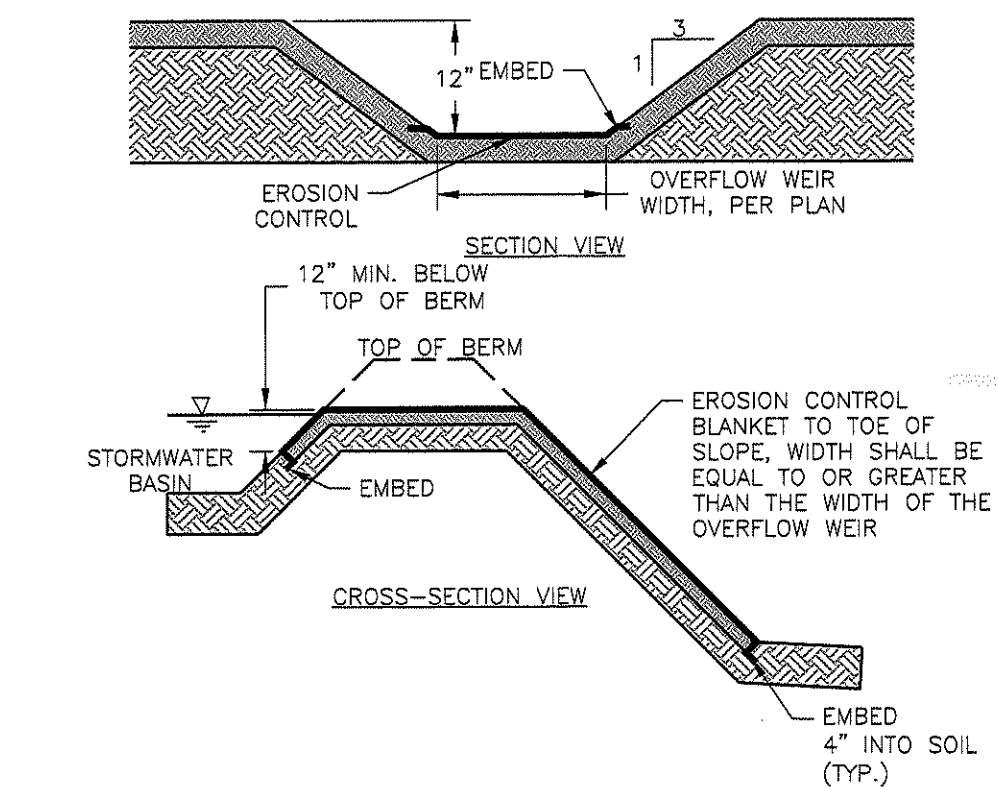
**STANDARD DUTY PAVEMENT**  
 NTS CA-RD-001



**CTDOT BITUMINOUS PAVEMENT**  
 NTS CA-RD-032

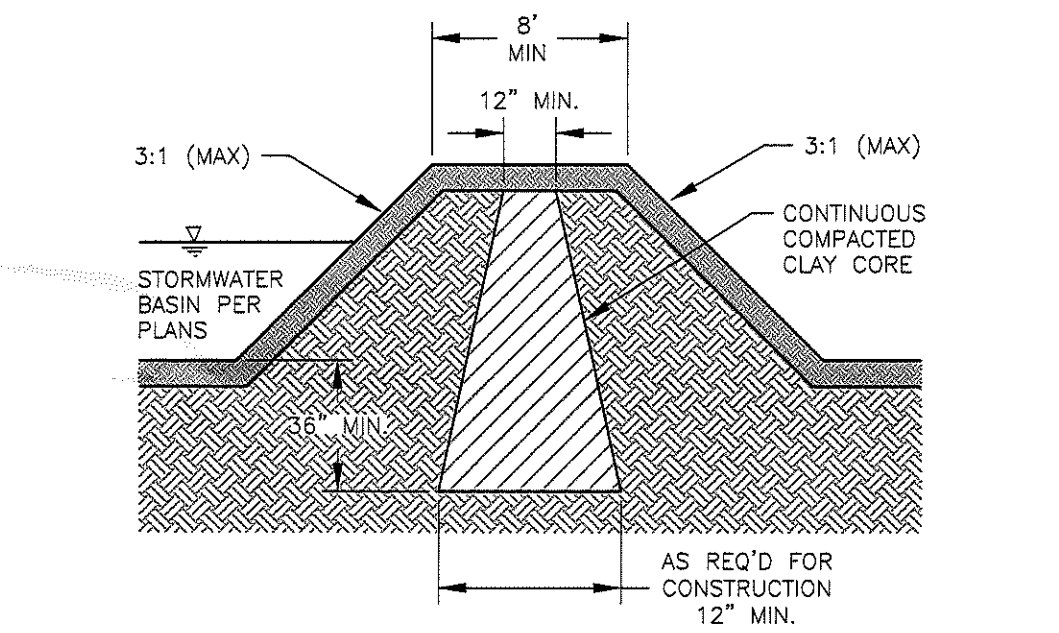


**PERVIOUS PAVERS**  
 NTS CA-RD-010

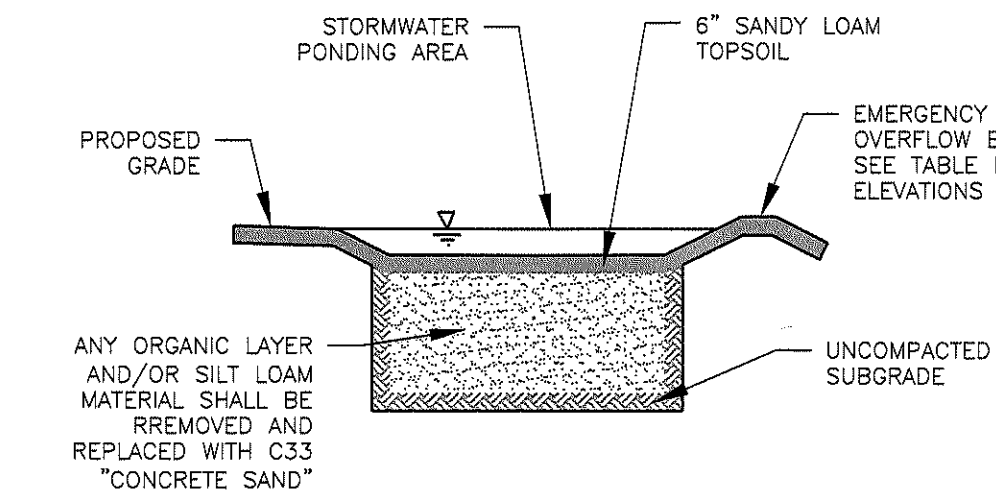


NOTES:  
 1. EROSION CONTROL BLANKET SHALL BE NORTH AMERICAN GREEN PRODUCTS P300 OR APPROVED EQUIVALENT.  
 2. EROSION CONTROL BLANKET SHALL BE INSTALLED PER MANUFACTURER'S REQUIREMENTS.

**EARTHEN EMERGENCY SPILLWAY**  
 NTS CA-D-020B

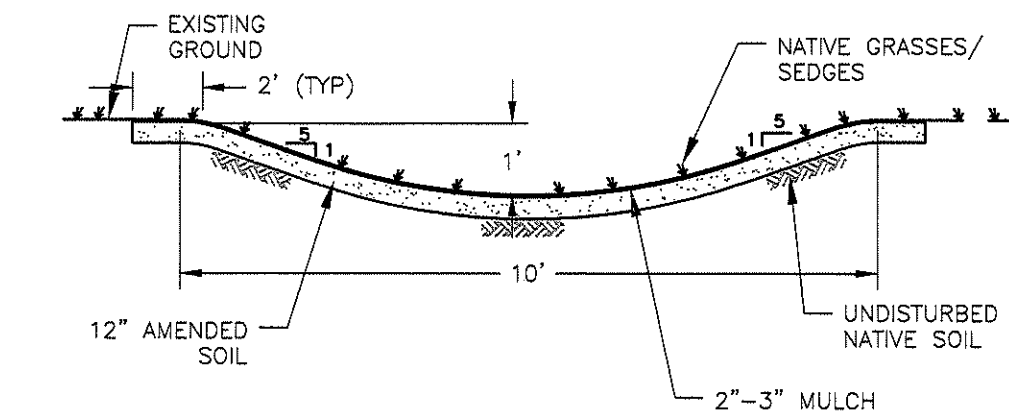


**STORMWATER BASIN EMBANKMENT**  
 NTS CA-D-025



NOTES:  
 TO ENSURE THE LONG-TERM FUNCTION AND VALUE OF AREAS PROPOSED FOR INFILTRATION, INCLUDING INFILTRATION AREAS, THE CONTRACTOR SHALL EXERCISE THE FOLLOWING BEST MANAGEMENT PRACTICES THROUGHOUT CONSTRUCTION:  
 1. THESE AREAS SHALL NOT BE USED FOR TEMPORARY CONSTRUCTION SEDIMENTATION CONTROL, SEDIMENTATION BASINS, OR DEWATERING AREAS.  
 2. THESE AREAS SHALL REMAIN OFF-LINE UNTIL THE ENTIRE CONSTRUCTION AREA CONTRIBUTING TO THESE AREAS HAS BEEN STABILIZED WITH BUILDINGS, BUILDING FOUNDATIONS, PAVEMENT, OR VEGETATION, AS APPLICABLE.  
 3. STORMWATER RUNOFF DURING CONSTRUCTION SHALL BE DIRECTED AWAY FROM THESE AREAS TO THE GREATEST EXTENT PRACTICABLE. WHERE NOT FEASIBLE, THE CONTRACTOR SHALL INSTALL ADDITIONAL EROSION CONTROLS UP-GRADE OF THESE AREAS TO PREVENT SEDIMENTATION OF THESE AREAS DURING CONSTRUCTION.  
 4. THE SUBGRADE BELOW THESE AREAS SHALL NOT BE COMPACTED; THEREFORE, THE CONTRACTOR SHALL RESTRICT ACCESS TO THESE AREAS BY HEAVY EQUIPMENT AND SHALL NOT USE THESE AREAS FOR MATERIALS STOCKPILES.  
 5. EXCAVATION AND CONSTRUCTION OF THESE AREAS SHALL BE PERFORMED USING HAND OR HYDRAULIC EQUIPMENT TO ENSURE THAT THE NATURAL FILTRATION EARTH MATERIAL IS NOT DISTURBED OR OTHERWISE COMPACTED.  
 6. UPON COMPLETION OF CONSTRUCTION OF ANY OF THESE AREAS, THE CONTRACTOR SHALL INSTALL EROSION CONTROL MEASURES TO PREVENT SILTATION OF THE FILTER MATERIALS.

**INFILTRATION AREA**  
 NTS CA-D-012



**GRASSED SWALE**  
 NTS CA-D-026

**SEEDING GUIDELINES**  
 FINAL STABILIZATION OF ALL DISTURBED AREAS, UNLESS OTHERWISE NOTED, SHALL BE LOADED AND SEEDING. LOAM SHALL BE PLACED AT A MINIMUM COMPACTED DEPTH OF 4 INCHES. TEMPORARY VEGETATIVE MEASURES SHALL CONSIST OF AN ANNUAL OR PERENNIAL RYE GRASS WITH RECOMMENDED SEEDING DATES BEING FROM MARCH 1 THROUGH JUNE 30 AND/OR AUGUST 1 THROUGH OCTOBER 15.

**SEED BED PREPARATION**  
 PROPOSED COVER MATERIAL SHOULD BE SPREAD EVENLY OVER THE ENTIRE SITE IN A MINIMUM 4-INCH LIFT VIA BULLDOZER/BUCKET LOADER. THE SEED BED SHOULD BE SMOOTH AND FIRM PRIOR TO SEEDING. THE FOLLOWING SEED MIXTURES SHOULD BE USED AS NOTED.

**SEED MIXTURE**

SPECIES/VARIETY	LBS./ACRE
CREEPING RED FESCUE	20
KENTUCKY BLUEGRASS	20
PERENNIAL RYEGRASS	5

**SEED TIME AND METHOD**  
 THE PREFERRED TIME FOR SEEDING THE COOL SEASON MIXTURE IS LATE SUMMER. SOIL AND AIR TEMPERATURES ARE IDEAL FOR SEED GERMINATION AND SEEDLING GROWTH. WEED COMPETITION IS REDUCED BECAUSE SEEDS OF MANY WEED SPECIES GERMINATE EARLIER IN THE GROWING SEASON. ADDITIONALLY, HERBICIDE USE IS GREATLY REDUCED. HOWEVER, SEEDING MAY BE DONE AT ANY OF THE ABOVE NOTED TIMES.

**MULCHING**  
 NEWLY SEEDING AREAS SHOULD BE MULCHED TO INSURE ADEQUATE MOISTURE FOR SUCCESSFUL TURF ESTABLISHMENT AND TO PROTECT AGAINST SURFACE MOVEMENT OF SEDIMENT-BOUND ARGOCHEMICALS AND SOIL EROSION. APPLY GOOD QUALITY STRAW OR HAY AT A RATE OF 2 BALES/1000 SQ. FT. OTHER COMMERCIALY AVAILABLE MULCHES CAN BE USED.

**PLAN REVISIONS**

REV. NO.	DATE	DESCRIPTION	DWN BY	CHK BY

SCALE: N.T.S.  
 CA JOB #219099  
 MAY 4, 2021

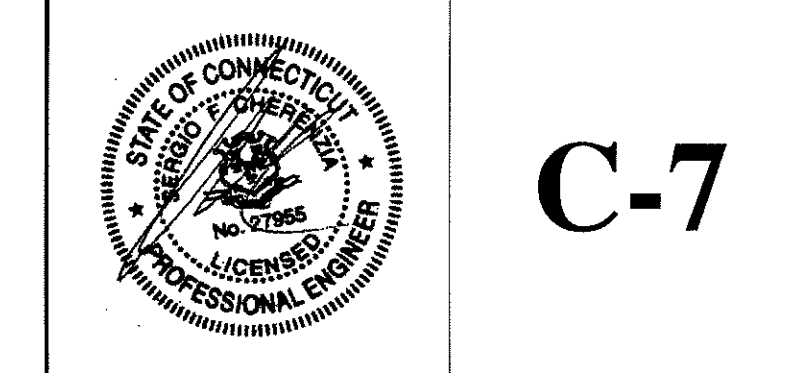
DRAWN BY: SETB  
 CHECK BY: SFC

ISSUED FOR PERMITTING

DETAILS SHEET 2

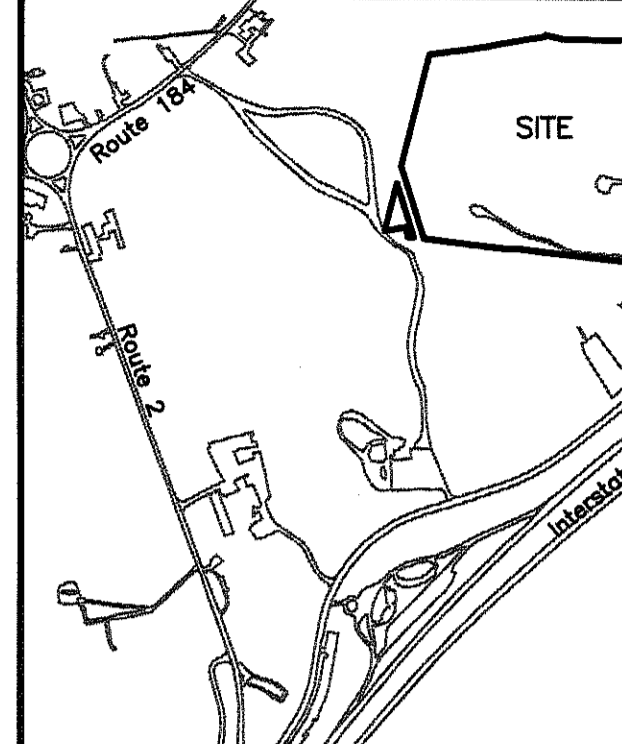
**KINGDOM OF THE HAWK TASTING ROOM**  
 113 PENDLETON HILL ROAD  
 MAP 122 LOT 2660  
 NORTH STONINGTON, CONNECTICUT

PREPARED FOR  
 KINGDOM OF THE HAWK, LLC.



**C-7**





**LOCATION MAP**

**LEGEND**

- 105 --- Major Contours - 5' Intervals
- 106 --- Minor Contours - 1' Intervals (sheets 2 & 3)
- Stone wall
- o Existing Storm Drain
- Guard Rail
- 100' URA --- Wetland 100' Upland Review Area
- FEMA Flood Hazard Line
- Monument found as noted
- ▣ CHD Bound (Connecticut Highway Department)
- ▲ Wetland Flag
- N/F Now or Formerly
- (66) --- Flood Study Transect Line

**DISTRICT DIMENSIONAL REGULATIONS**

District	EDD
Use	Economic Development
Min. Lot Size	200,000 sq. ft.
Min. Lot Frontage	200 feet
Impervious Coverage %	70%
Max. Hgt. Prin. Bldg.	50 Feet
Max. Hgt. Access. Bldg.	N/A
Min. Front Yard Depth	35 feet
Min. Side Yard Depth	20 feet
Min. Rear Yard Depth	20 feet
Min Access. Bldg Side	N/A
Min. Access. Bldg. Rear	N/A

**NOTES:**

- 1.) This plan has been prepared pursuant to the regulations of Connecticut State Agencies, Sections 20-300b-1 through 20-300b-20, as revised.  
 Type of Survey: Boundary Survey  
 Boundary Determination Category: Resurvey based upon plans referenced in note #2A.  
 Classes of Accuracy: A-2 Horizontal; T-2 & T-D Vertical
- 2.) Reference is hereby made to the following plans:  
 A.) Property Survey Prepared for Great Wolf Resorts, Inc. Property of James P. Crider & Gloria M. Crider 113 Pendleton Hill Road Lot ID 2741-76-2660 North Stonington, Connecticut Scale: 1"=100' December 15, 2006 Cherenzia & Associates, LTD.  
 B.) Town of North Stonington Map Showing Land Acquired From Joseph P. Crider Jr. Et Al The State of Connecticut - Route 49 Scale: 1"=40' February 1962 Highway Commissioner: Howard S. Ives
- 3.) Reference is hereby made to the following Deeds:  
 A.) A Statutory Form Warranty Deed from James P. Crider to Kingdom of the Hawk, LLC. Recorded in the Town of North Stonington Land Evidence Records under Book 229 Page 295 on February 22, 2019.  
 B.) A Quit Claim Deed from the Shore Line Electric Railway Company, granted to the Eastern Connecticut Power Company recorded April 21, 1920.
- 4.) The bearings and north arrow orientation depicted hereon are based upon the Connecticut State Plane Coordinate system of 1983.
- 5.) Elevations depicted hereon are based on the NAVD-88 Vertical Datum. Spot grades are based on a field survey performed January 6, 2020, contours shown are based on the 2016 Connecticut LIDAR data set.
- 6.) The Flood Zone Information depicted hereon as mapped is from "FIRM" Flood Insurance Rate Map, Town of North Stonington, Connecticut, New London County, Panel #: 09011C04116 effective 7/18/2011. Parcel lies partially within Special Flood Hazard Zone AE, and Flood Hazard Zones X and Unshaded X.
- 7.) The wetlands depicted hereon were delineated by Kleinfelder Windsor, CT and field survey located November, 2006 by Cherenzia & Associates, LTD.
- 8.) A portion of the old highway was to be Quit Claimed to The Town of North Stonington circa 1962. See Warrantee Deed recorded in the Town of North Stonington Land Evidence Records at Book 31, Page 154. No documents were found showing that this portion of land was Quit Claimed to the subject parcel.

**PLAN REVISIONS**

NO.	DESCRIPTION

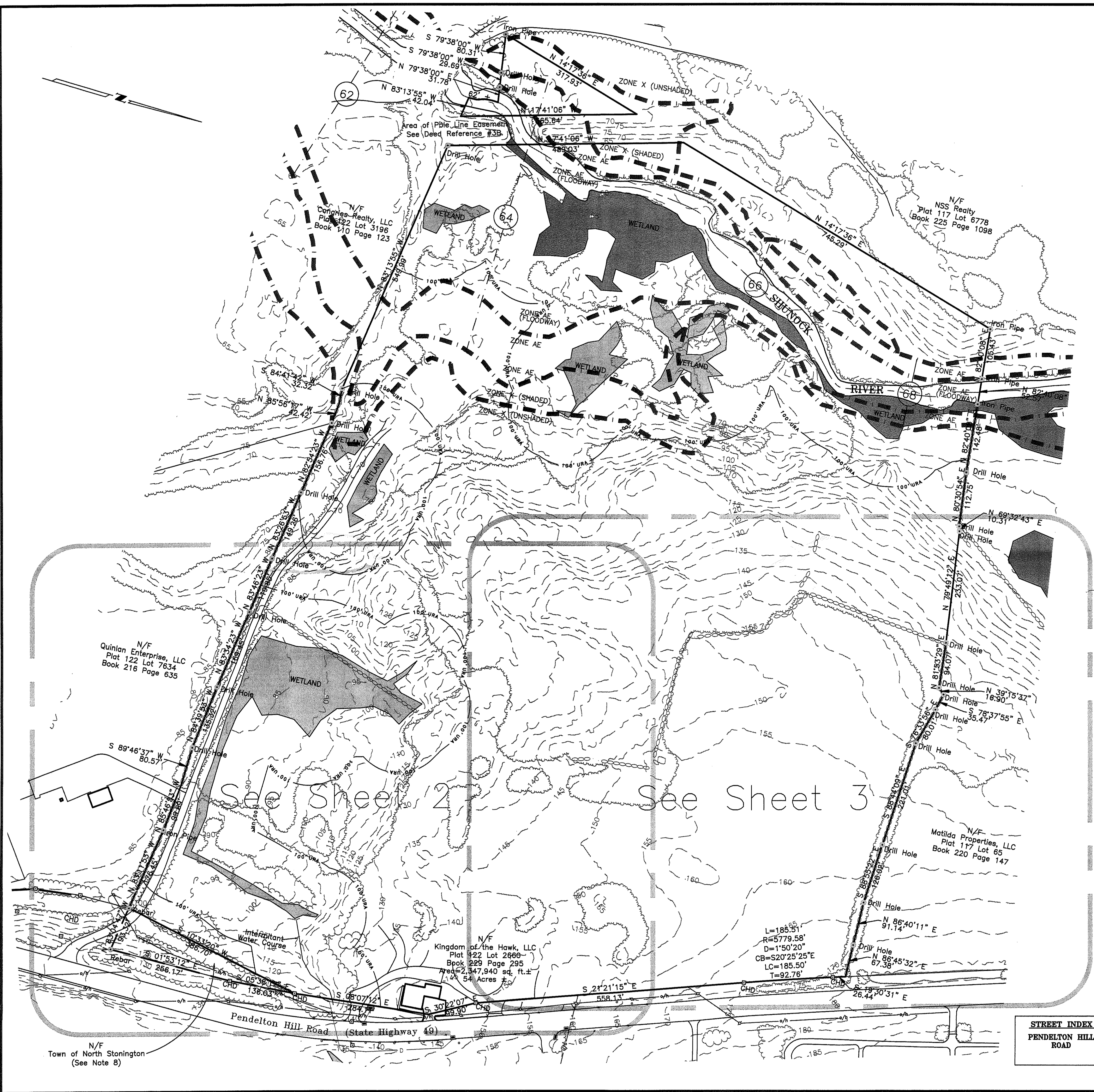
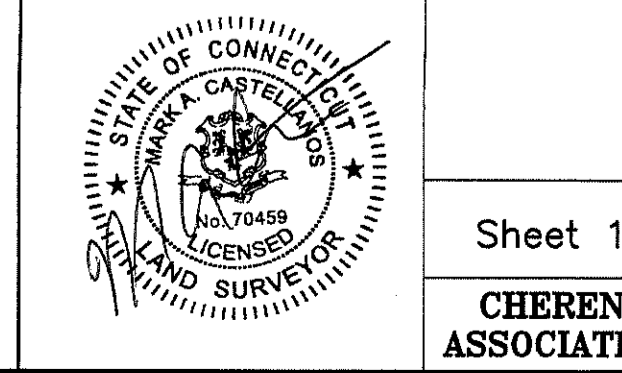
SCALE: 1"=100'  
 CA JOB # 219099  
 JANUARY 22, 2020

**COMPREHENSIVE BOUNDARY & TOPOGRAPHIC SURVEY**

**OVERALL BOUNDARY**

**113 PENDELTON HILL ROAD  
 NORTH STONINGTON, CONNECTICUT  
 PLAT 122 LOT 2660**

**PREPARED FOR  
 KINGDOM OF THE HAWK,**

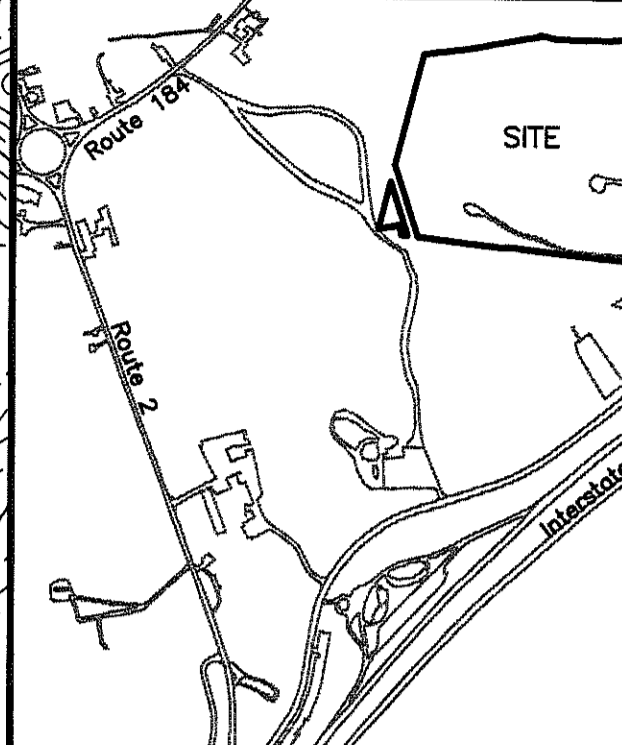


**STREET INDEX  
 PENDELTON HILL ROAD**

To the best of my knowledge and belief this map is substantially correct as noted hereon.

*ma*  
 Mark A. Castellanos, P.L.S. #70459

See Sheet 2      See Sheet 3



**LOCATION MAP**

See Sheet 1 for Legend & Notes

**PLAN REVISIONS**

NO.	DESCRIPTION	DATE

SCALE: 1"=40'  
 CA JOB # 219099  
 JANUARY 22, 2020

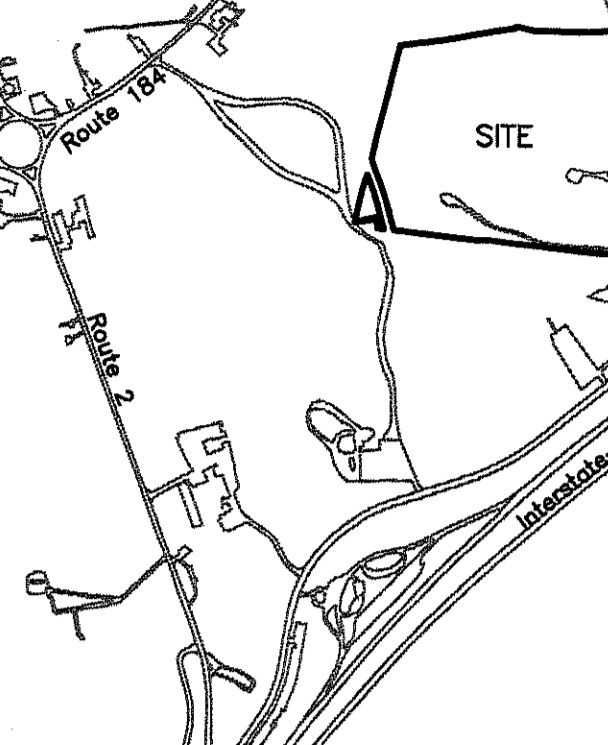
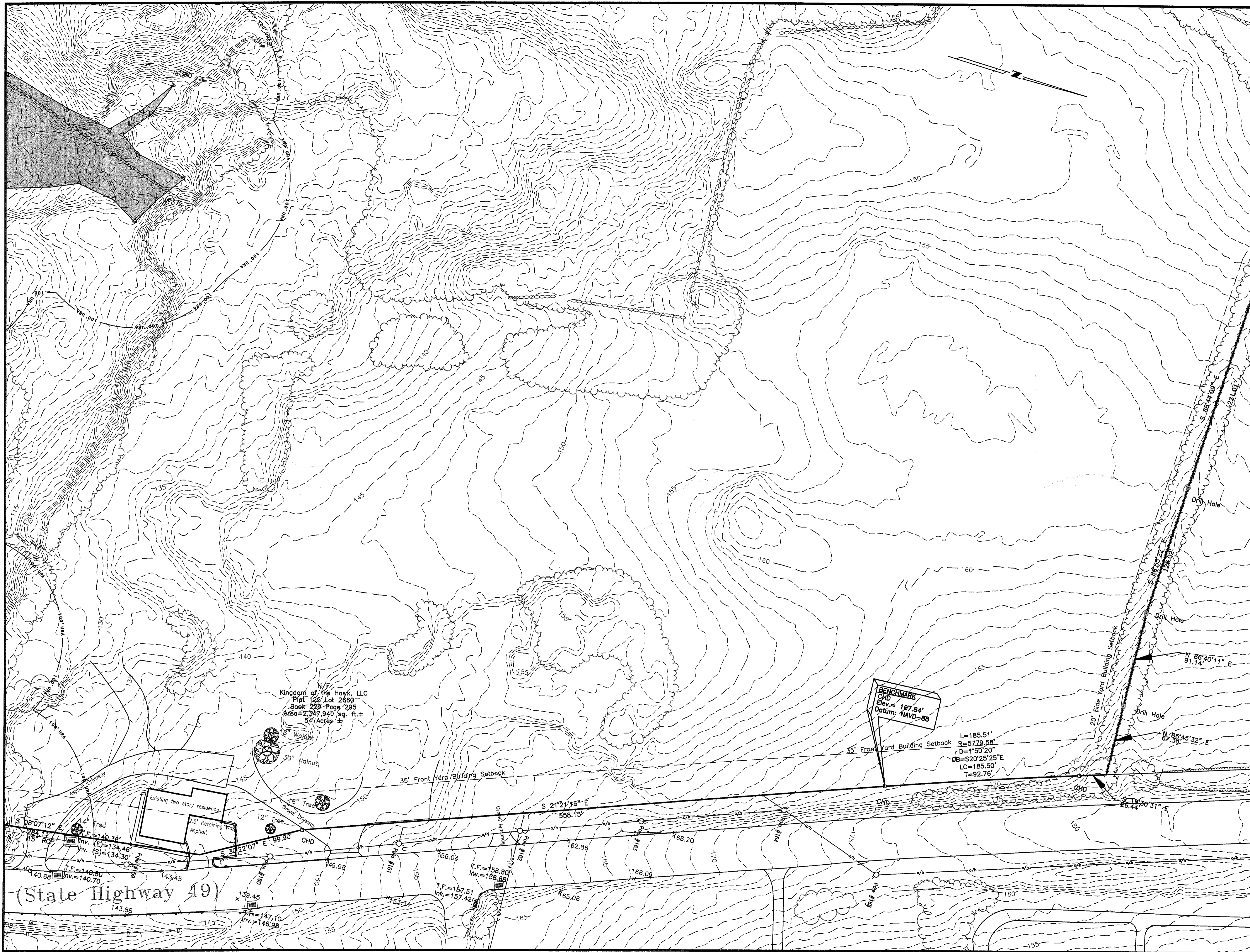
DRAWN BY: TW  
 CHECK BY: MA

**COMPREHENSIVE BOUNDARY & TOPOGRAPHIC SURVEY**

**EXISTING CONDITIONS**

113 PENDELTON HILL ROAD  
 NORTH STONINGTON, CONNECTICUT  
 PLAT 122 LOT 2660

PREPARED FOR  
 KINGDOM OF THE HAWK, L.L.C.



**LOCATION MAP**

See Sheet 1 for Legend & Notes

**PLAN REVISIONS**

DESCRIPTION

SCALE: 1"=40'  
 CA JOB # 219099  
 JANUARY 21, 2020

**COMPREHENSIVE BOUNDARY & TOPOGRAPHIC SURVEY**

**EXISTING CONDITIONS**

113 PENDELTON HILL ROAD  
 NORTH STONINGTON, CONNECTICUT  
 PLAT 122 LOT 2660

PREPARED FOR  
**KINGDOM OF THE HAWK,**

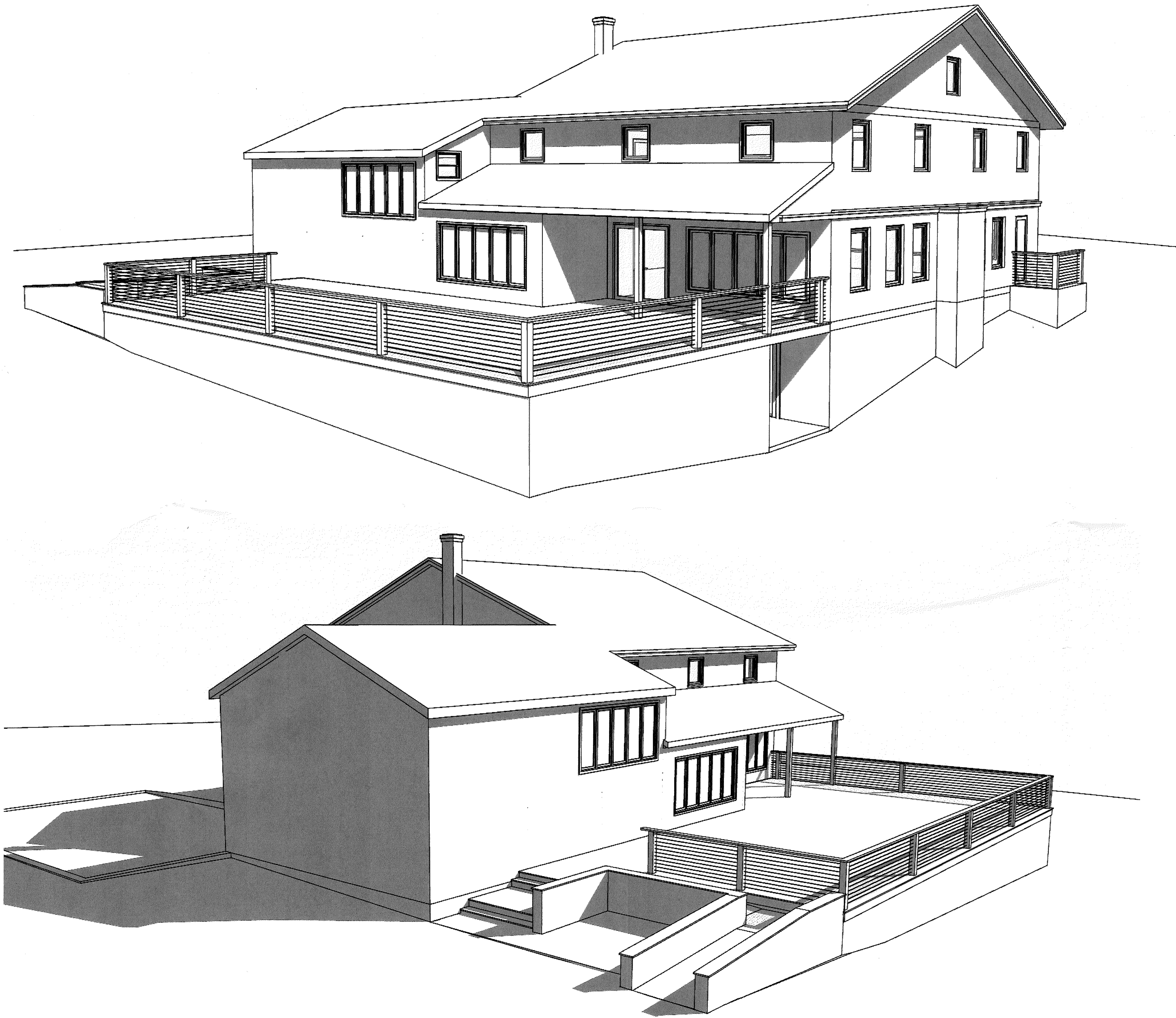
Sheet 3 of 3  
**CHERENZ & ASSOCIATES,**

Kingdom of the Hawk, LLC  
 Plat 122 Lot 2660  
 Book 228 Page 295  
 Area=2,347,940 sq. ft. ±  
 54 Acres ±

**BENCHMARK**  
 CHD  
 Elev. = 187.84'  
 Datum: NAVD-88

L=185.51'  
 R=5779.58'  
 D=1°50'20"  
 CB=S20°25'25"E  
 LC=185.50'  
 T=92.76'

(State Highway 49)



3D VIEWS - REAR YARD

Mercer Bertsche  
Vernott Architects

P.O. Box 619 · 135 Rt. 27 · Old Mystic, CT 06372  
info@mbvarchitects.com (860) 536-0632

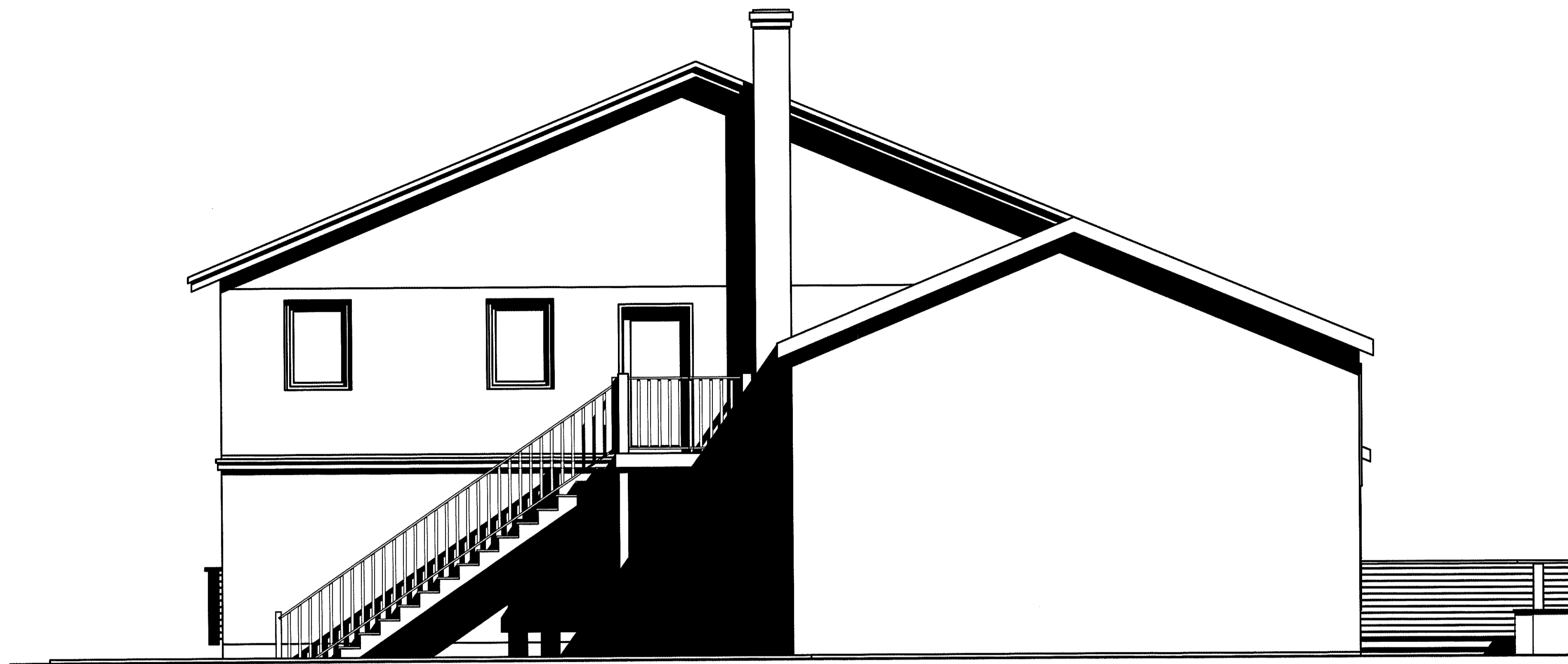
KINGDOM OF THE HAWK  
HOUSE

TOWN ZONING COMMISSION SUBMISSION

Scale 1/8"=1'-0"  
5-6-21

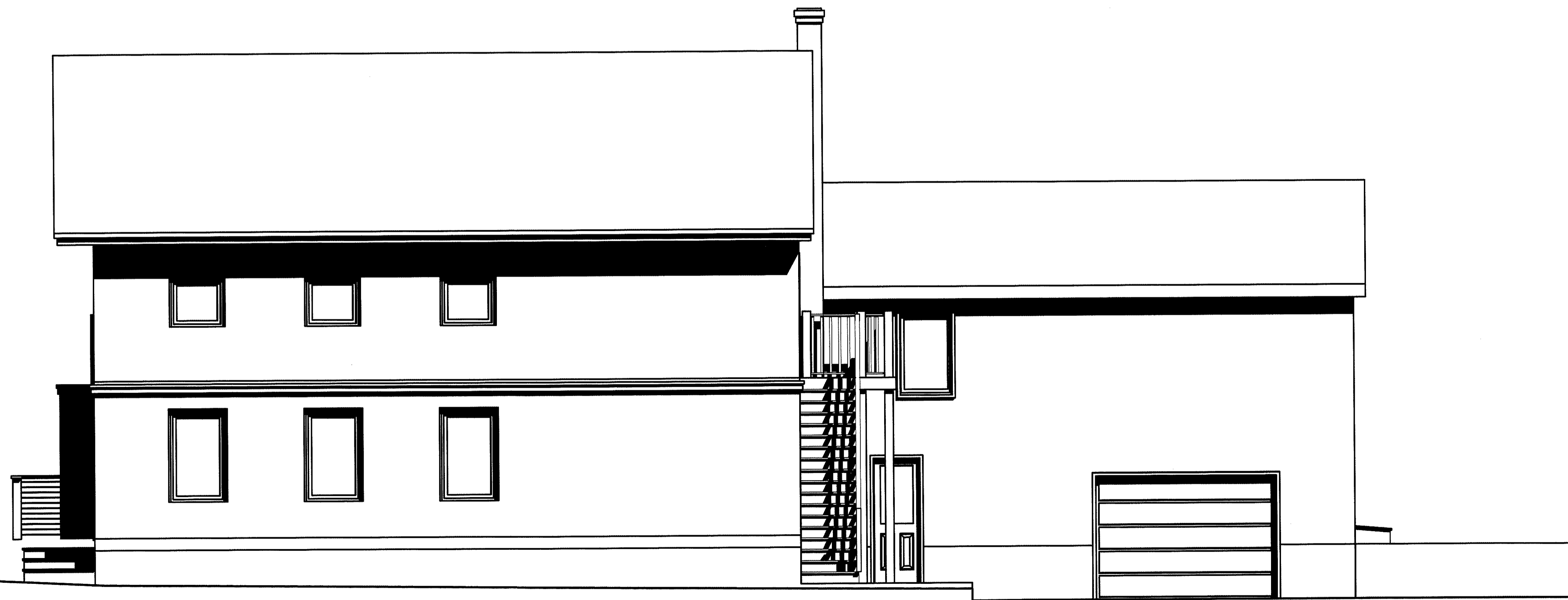
SD

received  
3/6/22



NORTH - ELEVATION

SCALE: 1/8" = 1'-0"



EAST - ELEVATION

SCALE: 1/8" = 1'-0"

ELEVATIONS - NORTH & EAST

Mercer Bertsche  
Vernott Architects

P.O. Box 619 135 Rt. 27 Old Mystic, CT 06372  
info@mbvarchitects.com (860) 536-0632

KINGDOM OF THE HAWK  
HOUSE

TOWN ZONING COMMISSION SUBMISSION

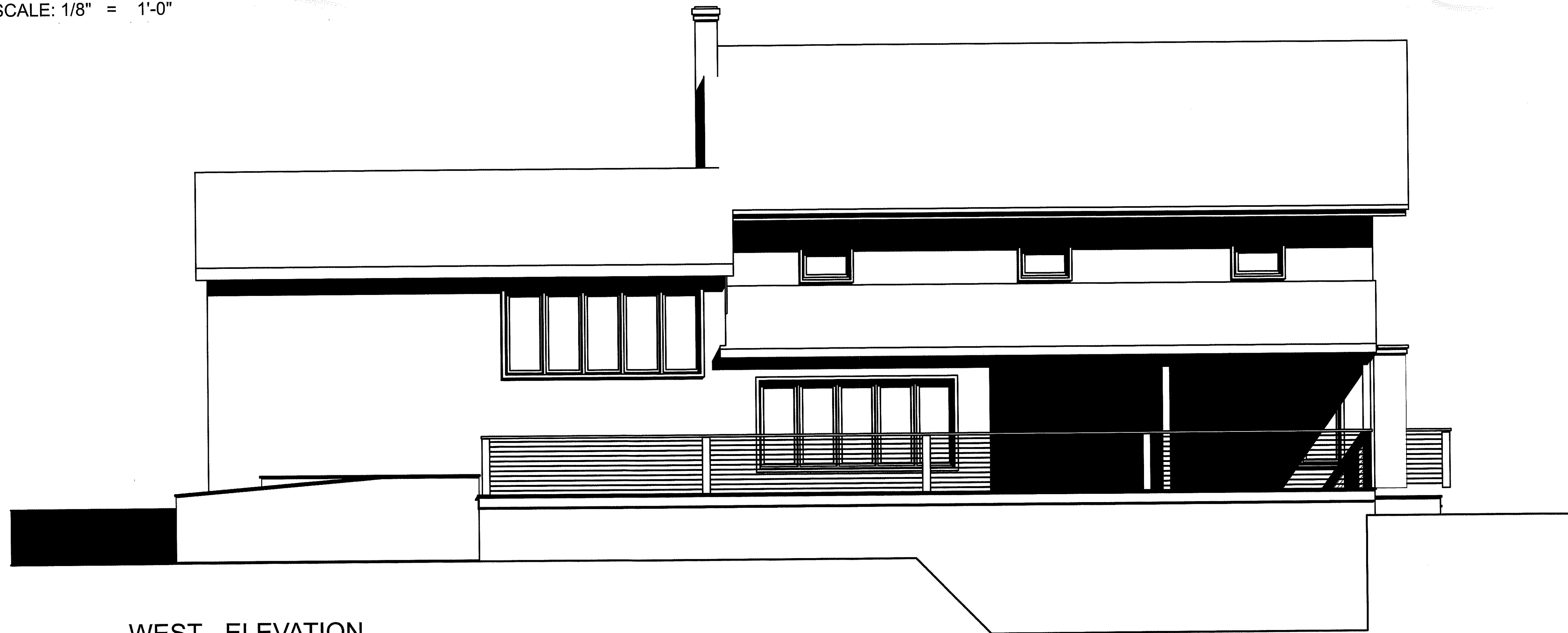
Scale 1/8"=1'-0"

5-6-21

SD



SOUTH - ELEVATION  
SCALE: 1/8" = 1'-0"



WEST - ELEVATION  
SCALE: 1/8" = 1'-0"

ELEVATIONS - SOUTH & WEST

Mercer Bertsche  
Vernott Architects

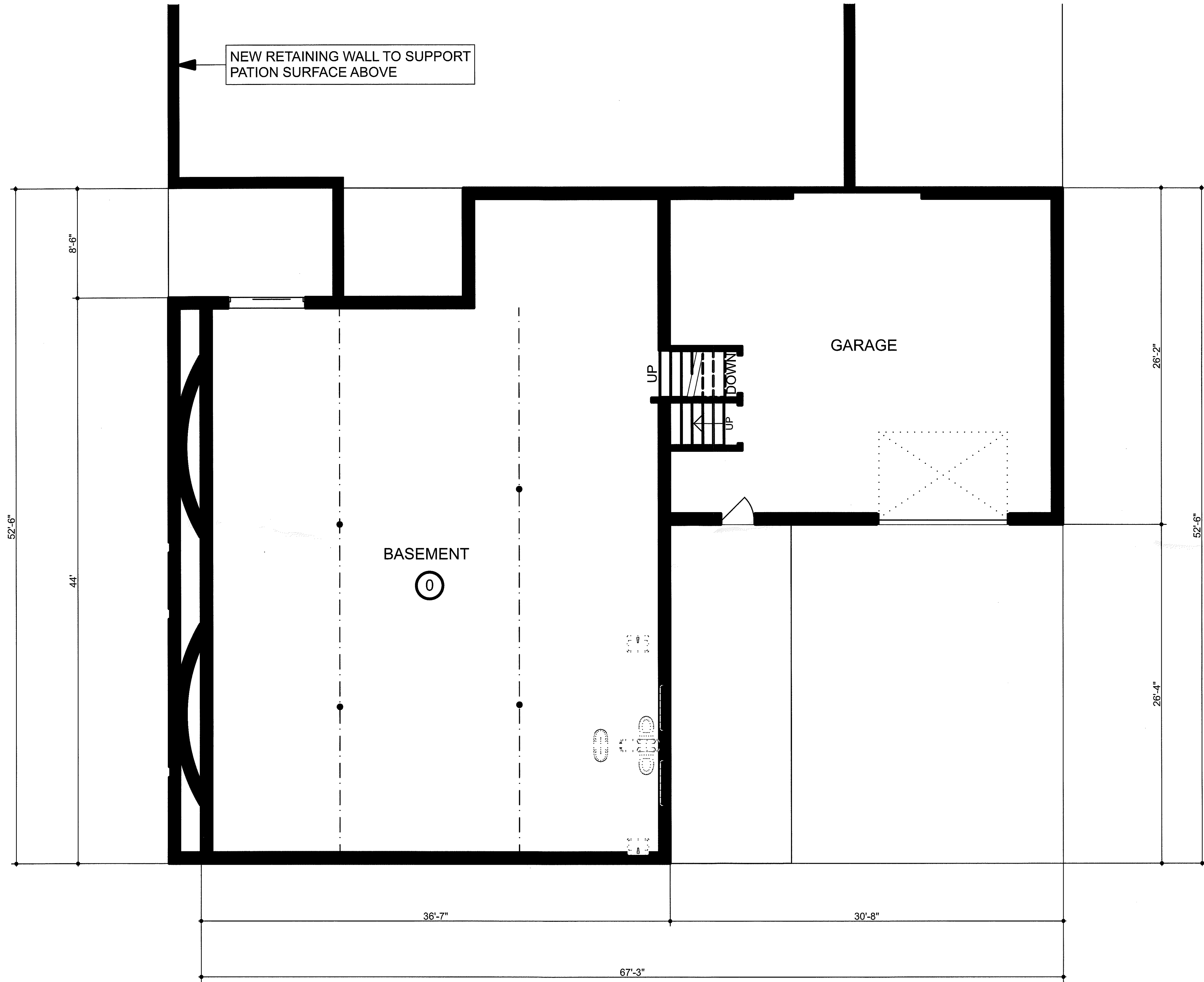
P.O. Box 619 135 Rt. 27 Old Mystic, CT 06372  
info@mbvarchitects.com (860) 536-0632

KINGDOM OF THE HAWK  
HOUSE

TOWN ZONING COMMISSION SUBMISSION

Scale 1/8"=1'-0"  
5-6-21

SD



NEW RETAINING WALL TO SUPPORT  
PATIATION SURFACE ABOVE

BASEMENT

0

GARAGE

UP  
DOWN

BASEMENT

SCALE: 1/8" = 1'-0"

FLOOR PLAN - BASEMENT

**Mercer Bertsche**  
**Vernott Architects**

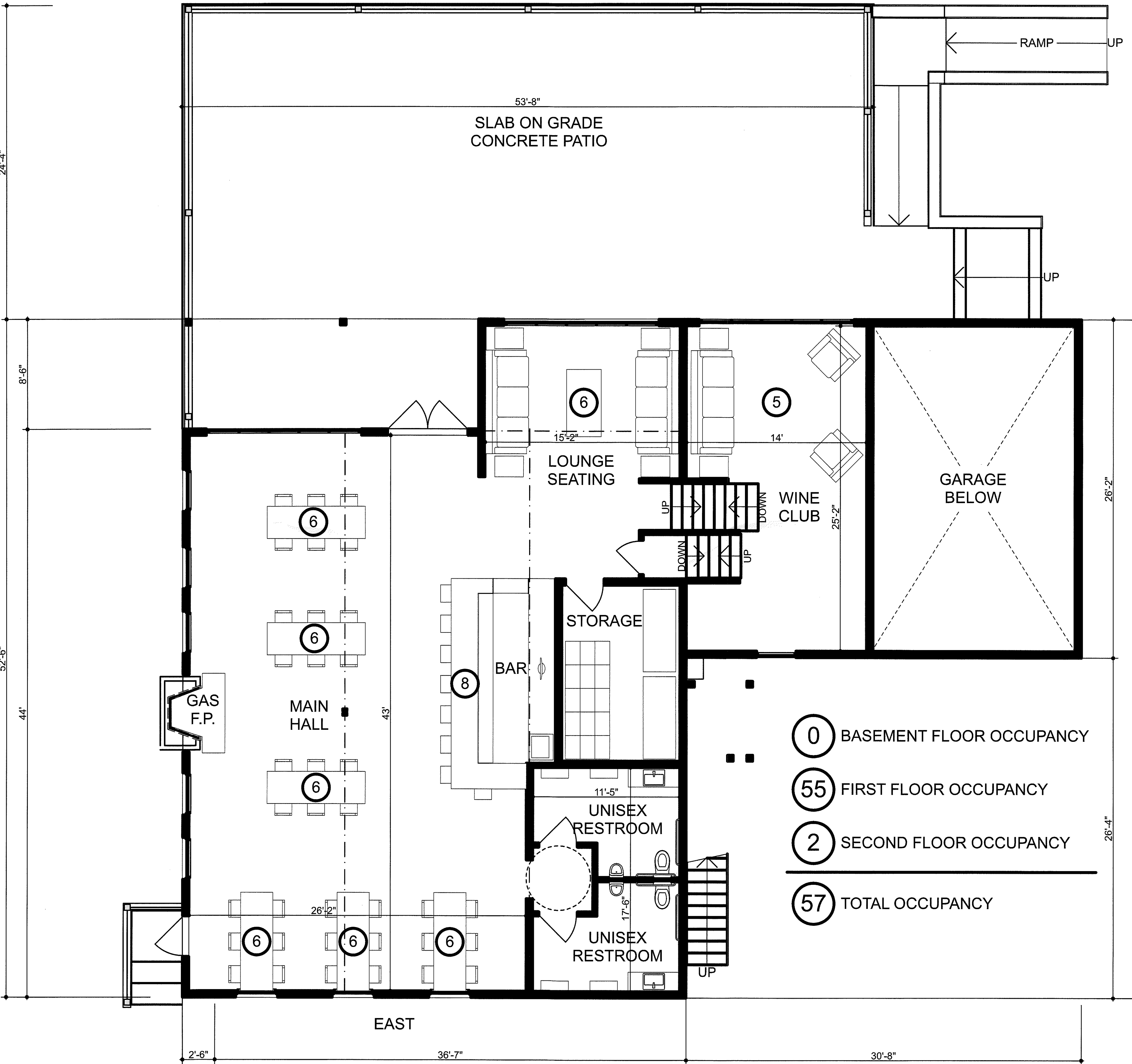
P.O. Box 619 135 Rt. 27 Old Mystic, CT 06372  
info@mbvarchitects.com (860) 536-0632

**KINGDOM OF THE HAWK**  
**HOUSE**

SCHEMATIC DESIGN

Scale 1/8"=1'-0"  
4-27-21

**SD**



FLOOR PLAN - 1ST FLOOR

FIRST FLOOR  
SCALE: 1/8" = 1'-0"

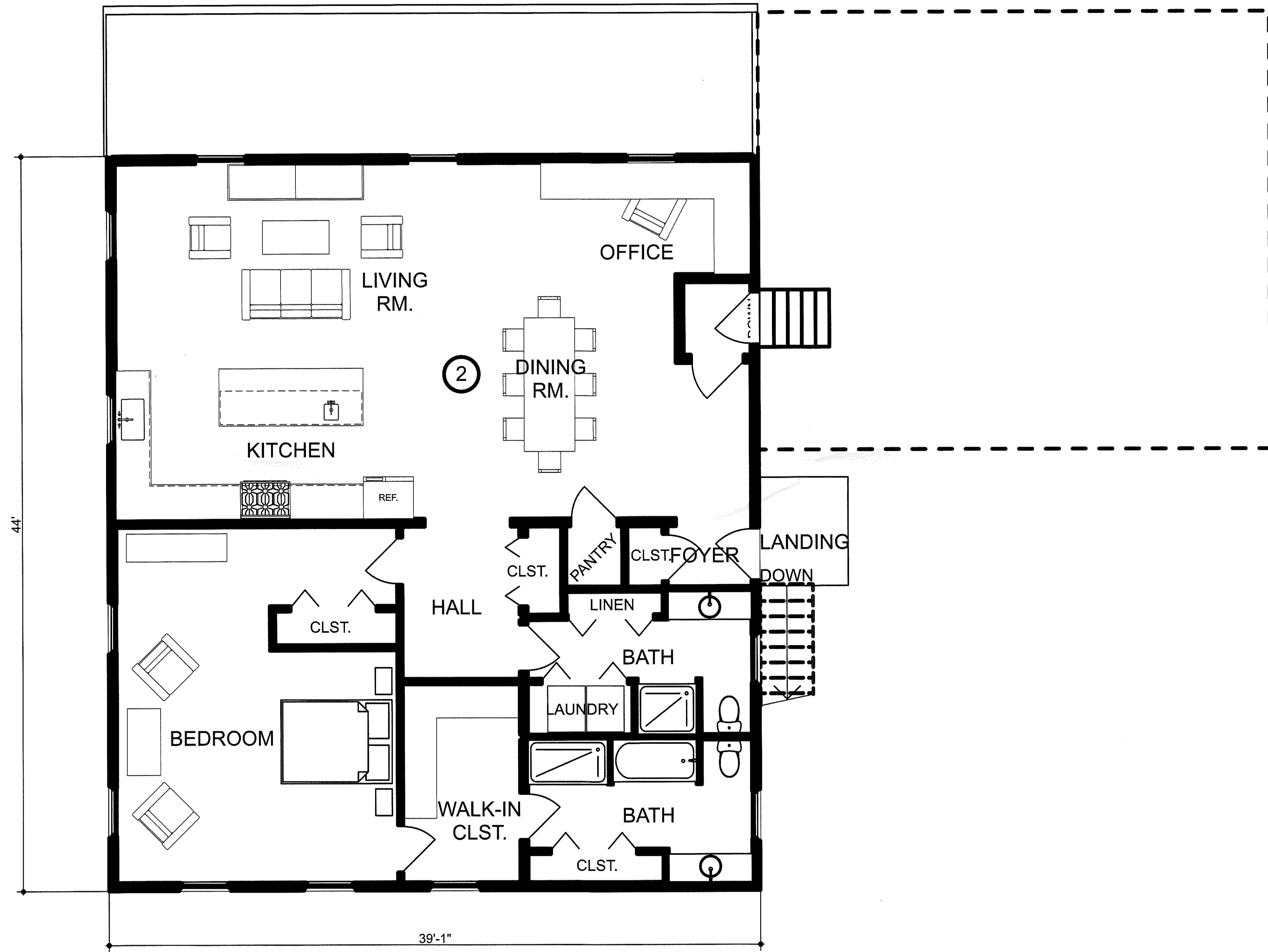
**Mercer Bertsche**  
**Vernott Architects**  
P.O. Box 619 135 Rt. 27 Old Mystic, CT 06372  
info@mbvarchitects.com (860) 536-0632

**KINGDOM OF THE HAWK**  
**HOUSE**  
TOWN ZONING COMMISSION SUBMISSION

Scale 1/8" = 1'-0"  
5-6-21

**SD**





SECOND FLOOR  
SCALE: 1/8" = 1'-0"

FLOOR PLAN - 2ND FLOOR

KINGDOM OF THE HAWK  
HOUSE

Scale 1/8"=1'-0"  
5-6-21

SD

Mercer Bertsche  
Vernott Architects  
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info@mbvarchitects.com (860) 536-0632

TOWN ZONING COMMISSION SUBMISSION